

3630 OSAGE STREET
DENVER, CO 80211
720.512.3437

OWNER

TRIUMPH DEVELOPMENT WEST
12 VAL RD, SUITE 100
VALI, COLORADO 81657
970-688-9057

CIVIL

ALPINE ENGINEERING, INC.
34510 HIGHWAY 6, UNIT A-9
EDWARDS, COLORADO 81632

LANDSCAPE

OUTSIDE L.A.
BOULDER, COLORADO
303-517-9256

ARCHITECTURE

359 DESIGN, LLC
3630 OSAGE STREET
DENVER, COLORADO 80211

TRAFFIC CONSULTANT

MCOWELL ENGINEERING, LLC.
PO BOX 4255
EAGLE, COLORADO 81631

GEOHAZARD CONSULTANT

CESARE, INC.
7108 SOUTH ALTON WAY - BUILDING B
CENTENNIAL, COLORADO 80112

DRAWING ABBREVIATIONS

AB

ANCHOR BOLT

MEM

MEMBRANE

ACT

ACoustical TILE CEILING

MNFR

MANUFACTURER

ALUM

ALUMINUM

MUN

MINIMUM

AP

ACCESS PANEL

MR

MOISTURE RESISTANT

APPROX

APPROXIMATE

MTL

METAL

ARCH

ARCHITECTURE

NC

NOT IN CONTRACT

ASSOC

ASSOCIATED

NO

NUMBER

BD

BOARD

NOM

NOMINAL

BLDG

BUILDING

NTS

NOT TO SCALE

BLK

BLACK

OC

OVERALL

BO

BOTTOM OF

OAM

OVERALL MASONRY

BOTTOM

BOTTOM

ON

ON CENTER

BRG

BEARING

OH

OVERHEAD

BSMT

BASEMENT

ORD

OVERFLOW ROOF DRAIN

CJ

CONTROL JOINT

OS

OVERFLOW SCUPPER

CL

CENTERLINE

OPC

OPENING

CLG

CEILING

OPOI

OWNER PROVIDED OWNER

CLR

CLEAR

OKI

OWNER PROVIDED CONTRACTOR

CNU

CONCRETE MASONRY UNIT

INSTALLED

COK

COLUMN

PC

PRECAST

CONC

CONCRETE

PF

PREFINISHED

CONT

CONTINUOUS

PJ

PANEL JOINT

COVER

COVER

PL

PLATE

CP

CONCRETE PAVER

PLMG

PLASTIC LAMINATE

CPT

CARPET

PNL

PANEL

CT

CERAMIC TILE

PT

PRESSURE TREATED

CTR

CENTER

PTD

PAPER TOWEL DISPENSER

DEC

DETENTION EQUIPMENT CONTRACTOR

REIN

REINFORCED

DET

DETENTION

REQ

REQUIRED

DEMOL

DEMOLITION

RD

ROUGH OPENING

DIA

DIAMETER

RM

ROOM

DIA

DIAMETER

SAP

SECURE PANEL ACCESS

DF

DRINKING FOUNTAIN

SEC

SEALED CONCRETE

DGB

DETENTION GRAB BAR

SCH

SCHEDULED

DR

DOOR

SEC

SECURITY

DWG

DRAWING

SECT

SECTION

EACH

EACH

SH

SHIF

EJ

EXPANSION JOINT

SHWR

SHOWER

ELC

ELECTRICAL

SK

SPECIFICATIONS

ELEV

ELEVATOR

SS

STAINLESS STEEL

EQ

EQUIPMENT

STL

STEEL

EQ

EQUIPMENT

STIF

STIFFENER

EQU

EQUIPMENT

STR

STRUCTURAL

EPOXY RESIN

EPOXY RESIN

TAG

TONGUE AND GROOVE

EXT

EXTERIOR

TOP

TOP OF

FD

FLOOR DRAIN

TOF

TOP OF FOOTING

FDN

FOUNDATION

TPH

TOILET PAPER HOLDER

FE

FIRE EXTINGUISHER

TS

TUBE STEEL

FF

FINISH FLOOR ELEVATION

UNT

UNLESS NOTED OTHERWISE

FIN

FINISH

VAR

VARIABLE

FLR

FLOOR

VBR

VAPOR BARRIER

FOOD SERVICE

FOOD SERVICE

VCT

VINYL COMPOSITE TILE

FT

FOOT

VERT

VERIFY IN FIELD

FTG

FOOTING

VIF

VENT IN FIELD

FUT

FUTURE

VTR

VENT THROUGH ROOF

GA

GAUGE

VWC

VENTIL WALL COVERING

GC

GENERAL CONTRACTOR

W

WITH

GL

GLASS

WC

WATER CLOSET

GRADE

GRADE

WDW

WINDOW

GYP BD

GYPSUM BOARD

WP

WATERPROOF

HOLLOW CORE

HOLLOW CORE

WT

WELDED WIRE FABRIC

HT

HEIGHT

WWF

WELDED WIRE FABRIC

HM

HOLLOW METAL

HORIZ

HORIZONTAL

INT

INTERIOR

INSUL

INSULATION

JAN

JANITOR

JOST

JOST

LAV

LAVATORY

MAX

MAXIMUM

MECH

MECHANICAL

LEGEND

MATERIALS

CONCRETE/ PRECAST CONCRETE

SOIL

SAND, EIFS FINISH COAT, OR CEMENT PLASTER

STUCCO

SIDING

PAVERS

FIBERGLASS SOUND BATT INSULATION

CELLULOSE INSULATION

POLYISOCYANURATE INSULATION BOARD

CLOSED CELL POLYURETHANE SPRAY INSULATION

GYPSUM BOARD

EXTERIOR GYPSUM SHEATHING

DRAWING SYMBOLS

ROOM NAME
XXXXX

EXISTING COLUMN CENTERLINE

COLUMN CENTERLINE

ACCESSORY

DEMOLITION NUMBERED NOTES

BUILDING WALL SECTION

ELEVATION

SECTION DETAIL

A3

PARTITION TYPE

EXTERIOR ENCLOSURE IDENTIFIER

BUILDING EXPANSION JOINT

NEW WALL

EXISTING WALL

1 HOUR FIRE WALL

2 HOUR SHAFT WALL

CEILING HEIGHT

PLAN, BLOW-UP DETAIL

CEILING SYMBOLS

GYP BD CEILING

SUPPLY AIR

RETURN AIR

EXHAUST AIR

ACCESS PANEL

FLUORESCENT LIGHT

SUSPENDED LIGHT

SUSPENDED FLUORESCENT LIGHT

CHANDELIER

REGISTER

WALL MOUNTED FLUORESCENT FIXTURE

EXIT SIGNS - HATCH INDICATES EXIT TEXT AND ARROW INDICATES DIRECTION

SMOKE DETECTOR

SPEAKER

PROJECTOR

WALL WASHER

PENDANT TYPE LIGHT FIXTURE

WALL MOUNTED LIGHT FIXTURE

DOWNLIGHT

STRIP LIGHT

GENERAL NOTES

1. DO NOT SCALE DRAWINGS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. SPECIFICATIONS GOVERN ALL CONTRACT DOCUMENTS.

2. CONTRACTOR TO ISSUE COMPLETE SET OF CONTRACT DOCUMENTS TO EACH OF THE SUBCONTRACTORS FOR COORDINATION OF THEIR WORK AND DESCRIPTION OF SCOPE - ALL DRAWINGS MUST BE REVIEWED BY EACH TRADE AND IF DISCREPANCIES ARE FOUND AN RFI IS TO BE SUBMITTED TO THE ARCHITECT.

3. CONTRACTOR RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS.

4. THEIR SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR EQUAL" IS USED THE ARCHITECT SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR VIA A DOCUMENTED SUBSTITUTION REQUEST.

5. REFER TO STRUCTURAL DRAWINGS FOR ALL REINFORCING AND STRUCTURAL INFORMATION.

6. ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND NON-STRUCTURAL SYSTEMS, COMPONENTS AND ELEMENTS PERMANENTLY ATTACHED TO STRUCTURES, INCLUDING SUPPORTING STRUCTURES AND ATTACHMENTS, AND NON-BUILDING STRUCTURES THAT ARE SUPPORTED BY OTHER STRUCTURES SHALL MEET THE REQUIREMENTS PER IBC 2015, CHAPTER 16 AND ASCE 7-02, SECTION 9.6 COORDINATE COMPONENT DESIGN WITH ARCHITECT AND MECHANICAL ENGINEER OF RECORD.

7. WHERE MANUFACTURER'S RECOMMENDED DETAILS DIFFER FROM THE CONTRACT DOCUMENTS, GENERAL CONTRACTOR TO IDENTIFY AND SUBMIT RFI TO ARCHITECT FOR CLARIFICATION.

8. ALL RESTROOM INTERIOR WALL PARTITIONS TO BE INSTALLED WITH SOUND BATT-INSULATION UNLESS NOTED OTHERWISE.

9. ELECTRICAL CONTRACTOR SHALL PROVIDE DESIGN BUILD SECURITY SYSTEM, COORDINATION WITH OWNER.


10. SMOKE AND CARBON MONOXIDE DETECTION TO BE INSTALLED AND MAINTAINED IN ADHERENCE WITH ALL APPLICABLE CODES.

11. ALL DIMENSIONS ARE TO FACE OF STUD, GRID LINE, FACE OF MASONRY OR CONCRETE, U.N.O.

12. WHERE "CLEAR" IS CALLED OUT ON A DIMENSION, PROVIDE DIMENSION FROM FACE OF FINISH TO FACE OF FINISH.

13. FURNITURE IS NOT IN CONTRACT, U.N.O. AND SHOWN FOR REFERENCE ONLY.

PROJECT LOCATION



PROJECT SITE

I-70

1"=400'

2018 International Building Code
2018 International Residential Code
2018 International Fire Code
2018 International Plumbing Code
2018 International Mechanical Code
2018 International Fuel Gas Code
2018 International Energy Conservation Code
2018 International Existing Building Code
2017 National Electrical Code



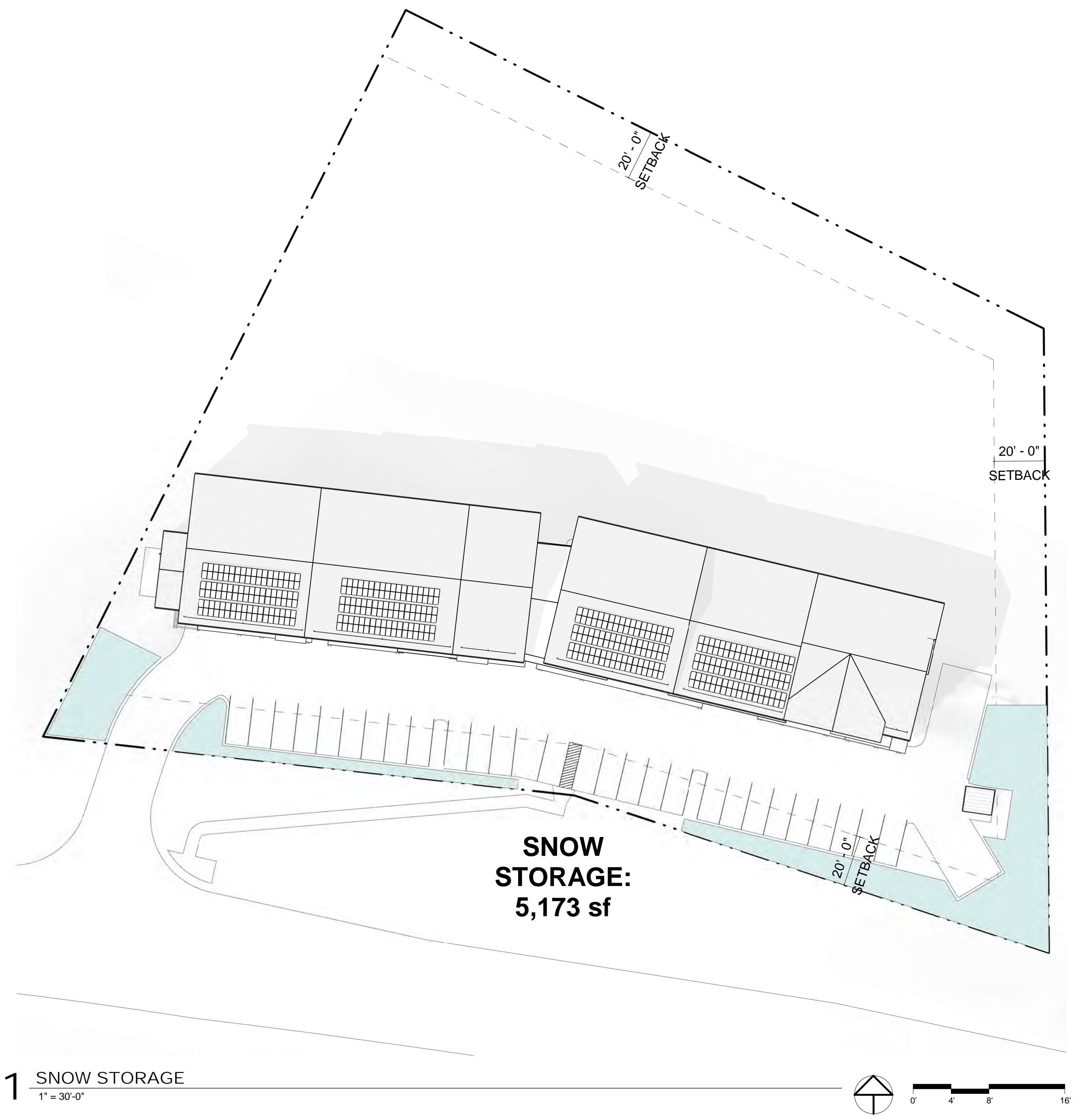
OVERALL SITE AREA: 90,158 sf (2.07acres)

	Required	Existing	Proposed
Landscape Coverage:	30% min	70,727 sf (78.4%)	52,849 sf (58.6%)
Building Coverage:	55% max	4,077 sf (4.5%)	17,756 sf (19.7%)
Paving Coverage:		13,625 sf (15.1%)	15,715 sf (17.4%)
Snow Storage:	30% of paved min		5,173 sf (32.9%)

Employee Housing Units	0	72
Surface Parking	16	28
Covered Parking	0	27

	16 total parking	55 total parking
GROSS AREA		80,543 sf
NET AREA		61,411 sf

GRFA TOTAL (TYPE IV EHUs): 57,656 sf



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DISCIPLINE STAMP

NORTH MAIN APARTMENTS

MIDDLE CREEK LOT 3

REVISIONS

No.	Description	Date

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ISSUE DATE 15 MARCH 2021

ISSUE

TRIUMPH
DEVELOPMENT

SHEET TITLE

DEVELOPMENT
STANDARDS

SHEET NO.

A0.10



2 PEC - LEVEL 01 GRFA
3/64" = 1'-0"



1 PEC - PARKING LEVEL GRFA
3/64" = 1'-0"

12-15-3B: Within Housing (H) Districts:

For residential uses, the total square footage of all horizontal areas on all levels of a structure, as measured to the outside face of the sheathing of the exterior walls (i.e., not including exterior wall finishes). Floor area shall include, but not be limited to, elevator shafts and stairwells at each level, lofts, fireplaces, bay windows, mechanical spaces, vents and chases, storage areas, and other similar areas. Garages; attics; vaulted or open to below spaces; basements; crawl spaces; and roofed or covered decks, porches, terraces, or patios shall be included as floor area; except the horizontal areas of a structure as set forth herein shall then be deducted from the calculation of GRFA.

a. GRFA shall be calculated by measuring the total square footage of a building as set forth in the definition above. Excluded areas as set forth herein, shall then each be deducted from the total square footage.

- (1) Common Spaces: All or part of the following spaces, provided such spaces are common spaces:
- (A) Common hallways, stairways, elevator shafts and airlocks.
 - (B) Common lobby areas.
 - (C) Common enclosed recreation facilities.
 - (D) Common heating, cooling or ventilation systems, solar rock storage areas, or other mechanical systems.
 - (E) Common closet and storage areas, providing access to such areas is from common hallways only.
 - (F) Meeting and convention facilities.
 - (G) Office space, provided such space is used exclusively for the management and operation of on site facilities.
 - (H) Floor area to be used in a Type III "employee housing unit (EHU)" as defined and restricted by chapter 13.
 - (I) Common enclosed garages to accommodate on site parking requirements

*ALLOWABLE GRFA PER PLANNING AND ENVIRONMENTAL COMMISSION APPROVAL

	1B / 1ba
	EHU
	2B / 1ba
	EHU
	2B / 2ba
	EHU
	COMMON SPACE - AMENITY (DEDUCTED)
	LOBBY, LAUNDRY, & LOUNGE
	COMMON SPACE - STORAGE (DEDUCTED)
	SECURE BIKE & GEAR LOCKERS
	COMMON SPACE - CIRCULATION (DEDUCTED)
	HALLWAYS, STAIRS, & ELEVATORS

LEVEL 01 // AREAS

	Unit Count	GSF / unit	GRFA
1B/1ba	2	616	1,232
2B/1ba	3	837	2,511
2B/2ba	3	855	2,565
Common Space - Circulation		2,477	0
Common Space - Amenity		0	0
Total	8	8,785	6,308

PARKING LEVEL // AREAS

	Unit Count	GSF / unit	GRFA
1B/1ba	0	616	0
2B/1ba	0	837	0
2B/2ba	0	855	0
Common Space - Circulation		1,181	0
Common Space - Amenity & Storage		2,135	0
Total	0	3,316	0

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NORTH MAIN APARTMENTS

MIDDLE CREEK LOT 3

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No.	Description	Date

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ISSUE

TRIUMPH
DEVELOPMENT

SHEET TITLE

GRFA
CALCULATIONS

SHEET NO.

A0.21



2 PEC - LEVEL 03 GRFA
3/64" = 1'-0"



1 PEC - LEVEL 02 GRFA
3/64" = 1'-0"

12-15-3B: Within Housing (H) Districts:

For residential uses, the total square footage of all horizontal areas on all levels of a structure, as measured to the outside face of the sheathing of the exterior walls (i.e., not including exterior wall finishes). Floor area shall include, but not be limited to, elevator shafts and stairwells at each level, lofts, fireplaces, bay windows, mechanical spaces, vents and chases, storage areas, and other similar areas. Garages; attics; vaulted or open to below spaces; basements; crawl spaces; and roofed or covered decks, porches, terraces, or patios shall be included as floor area; except the horizontal areas of a structure as set forth herein shall then be deducted from the calculation of GRFA.

a. GRFA shall be calculated by measuring the total square footage of a building as set forth in the definition above. Excluded areas as set forth herein, shall then each be deducted from the total square footage.

- (1) Common Spaces: All or part of the following spaces, provided such spaces are common spaces:
- (A) Common hallways, stairways, elevator shafts and airlocks.
 - (B) Common lobby areas.
 - (C) Common enclosed recreation facilities.
 - (D) Common heating, cooling or ventilation systems, solar rock storage areas, or other mechanical systems.
 - (E) Common closet and storage areas, providing access to such areas is from common hallways only.
 - (F) Meeting and convention facilities.
 - (G) Office space, provided such space is used exclusively for the management and operation of on site facilities.
 - (H) Floor area to be used in a Type III "employee housing unit (EHU)" as defined and restricted by chapter 13.
 - (I) Common enclosed garages to accommodate on site parking requirements

*ALLOWABLE GRFA PER PLANNING AND ENVIRONMENTAL COMMISSION APPROVAL

	1B / 1ba
	EHU
	2B / 1ba
	EHU
	2B / 2ba
	EHU
	COMMON SPACE - AMENITY (DEDUCTED)
	LOBBY, LAUNDRY, & LOUNGE
	COMMON SPACE - STORAGE (DEDUCTED)
	SECURE BIKE & GEAR LOCKERS
	COMMON SPACE - CIRCULATION (DEDUCTED)
	HALLWAYS, STAIRS, & ELEVATORS

LEVEL 03 // AREAS

	Unit Count	GSF / unit	GRFA
1B/1ba	3	616	1,848
2B/1ba	7	837	5,859
2B/2ba	6	855	5,130
Common Space - Circulation		2,477	0
Common Space - Amenity		251	0
Total	16	15,565	12,837

LEVEL 02 // AREAS

	Unit Count	GSF / unit	GRFA
1B/1ba	3	616	1,848
2B/1ba	7	837	5,859
2B/2ba	6	855	5,130
Common Space - Circulation		2,477	0
Common Space - Amenity		251	0
Total	16	15,565	12,837

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DISCIPLINE STAMP

NORTH MAIN APARTMENTS

MIDDLE CREEK LOT 3

REVISIONS

No.	Description	Date

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ISSUE DATE 15 MARCH 2021

ISSUE

TRIUMPH
DEVELOPMENT

SHEET TITLE

GRFA
CALCULATIONS

SHEET NO.

A0.22



2 PEC - LEVEL 05 GRFA
3/64" = 1'-0"



1 PEC - LEVEL 04 GRFA
3/64" = 1'-0"

12-15-3B: Within Housing (H) Districts:

For residential uses, the total square footage of all horizontal areas on all levels of a structure, as measured to the outside face of the sheathing of the exterior walls (i.e., not including exterior wall finishes). Floor area shall include, but not be limited to, elevator shafts and stairwells at each level, lofts, fireplaces, bay windows, mechanical spaces, vents and chases, storage areas, and other similar areas. Garages; attics; vaulted or open to below spaces; basements; crawl spaces; and roofed or covered decks, porches, terraces, or patios shall be included as floor area; except the horizontal areas of a structure as set forth herein shall then be deducted from the calculation of GRFA.

a. GRFA shall be calculated by measuring the total square footage of a building as set forth in the definition above. Excluded areas as set forth herein, shall then each be deducted from the total square footage.

- (1) Common Spaces: All or part of the following spaces, provided such spaces are common spaces:
- (A) Common hallways, stairways, elevator shafts and airlocks.
 - (B) Common lobby areas.
 - (C) Common enclosed recreation facilities.
 - (D) Common heating, cooling or ventilation systems, solar rock storage areas, or other mechanical systems.
 - (E) Common closet and storage areas, providing access to such areas is from common hallways only.
 - (F) Meeting and convention facilities.
 - (G) Office space, provided such space is used exclusively for the management and operation of on site facilities.
 - (H) Floor area to be used in a Type III "employee housing unit (EHU)" as defined and restricted by chapter 13.
 - (I) Common enclosed garages to accommodate on site parking requirements

*ALLOWABLE GRFA PER PLANNING AND ENVIRONMENTAL COMMISSION APPROVAL

	1B / 1ba
	EHU
	2B / 1ba
	EHU
	2B / 2ba
	EHU
	COMMON SPACE - AMENITY (DEDUCTED)
	LOBBY, LAUNDRY, & LOUNGE
	COMMON SPACE - STORAGE (DEDUCTED)
	SECURE BIKE & GEAR LOCKERS
	COMMON SPACE - CIRCULATION (DEDUCTED)
	HALLWAYS, STAIRS, & ELEVATORS

LEVEL 05 // AREAS

	Unit Count	GSF / unit	GRFA
1B/1ba	3	616	1,848
2B/1ba	7	837	5,859
2B/2ba	6	855	5,130
Common Space - Circulation		2,477	0
Common Space - Amenity		251	0
Total	16	15,565	12,837

LEVEL 04 // AREAS

	Unit Count	GSF / unit	GRFA
1B/1ba	3	616	1,848
2B/1ba	7	837	5,859
2B/2ba	6	855	5,130
Common Space - Circulation		2,477	0
Common Space - Amenity		251	0
Total	16	15,565	12,837

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DISCIPLINE STAMP

NORTH MAIN APARTMENTS

MIDDLE CREEK LOT 3

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ISSUE DATE 15 MARCH 2021

ISSUE

TRIUMPH
DEVELOPMENT

SHEET TITLE

GRFA
CALCULATIONS

SHEET NO.

A0.23

FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD, U.N.O.

2. ALL GRIDLINES ALIGN WITH FACE OF STUD OR FACE OF STRUCTURE U.N.O. GRIDLINES DO NOT MATCH GRIDLINES FOR FOUNDATION PERMIT DRAWINGS.

3. KEYNOTES ARE SPECIFIC TO EACH DRAWING SHEET. ALL INTERIOR WALL PARTITION TYPES ARE "TYPE A1s" WHICH INCLUDE SOUND BATT INSULATION, U.N.O.

4. ALL CLOSETS TO INCLUDE SHELF & ROD RE-INTERIOR DRAWINGS.

5. FURNITURE IS SHOWN FOR REFERENCE ONLY. REFER TO SHEET A1.70 FOR UNIT PLANS.

6. REFER TO THE A2 SERIES FOR EXTERIOR ELEVATIONS AND FOR DESIGNATIONS OF EXTERIOR MATERIALS. REFER TO THE A4 SERIES FOR ALL BUILDING SECTIONS.

7. REFER TO THE A2 SERIES FOR DOOR AND WINDOW INFORMATION.

8. REFER TO INTERIORS DRAWINGS FOR FINISH INFORMATION AND SCHEDULES.
12. ENSURE A HARDWIRED WITH BATTERY BACKUP SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR IS INSTALLED ON EACH LEVEL IN A CENTRALLY LOCATED COMMON AREA PER IRC R314.6 AND NFPA 720 AND BE INTERCONNECTED PER IRC R314.4. SMOKE ALARMS SHALL BE PLACED NOT LESS THAN 3' FROM A BATHROOM DOOR WHEN THE BATHROOM CONTAINS A TUB OR SHOWER.

13. THE BATHROOM CONTAINS A TUB OR SHOWER.

14. FLOOR LEVELING MAY BE REQUIRED FOR TILE AND WOOD INSTALLATIONS THAT OCCUR AT SLAB ON GRADE CONDITIONS.

15. ALL EXPOSED CONCRETE FOUNDATION WALLS, CRAWLSPACES, AND FLOORS EXPOSED TO THE EXTERIOR ARE REQUIRED TO BE INSULATED PER THE 2015 IECC.

16. USE 5/8" TYPE 'X' GYPSUM BOARD ON ALL GARAGE CEILINGS.

17. ALL CEILINGS TO BE GYPSUM WALL BOARD U.N.O.

18. COORDINATE LOCATIONS FOR ACCESS DOORS WITH ALL FINAL MECHANICAL EQUIPMENT.

19. GUARDRAILS ARE REQUIRED AT ALL LOCATIONS WHERE THERE IS A GRADE CHANGE OF 30" OR MORE.

20. RE: DETAIL XXXXX FOR TYPICAL DRAFT STOPPING/FIRE BLOCKING AT VERTICAL CHASES AT INTERMEDIATE FLOORS AND ROOF/CEILING INTERSECTIONS. RE: XXXXX FOR TYPICAL DRAFT STOPPING/FIRE BLOCKING AT SOFFITS.
21. ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD, U.N.O.

22. ALL GRIDLINES ALIGN WITH FACE OF STUD OR FACE OF STRUCTURE U.N.O. GRIDLINES DO NOT MATCH LUMINAIRES IN WET OR DAMP LOCATIONS TO RATED FOR THESE LOCATIONS PER NEC 410.10.

23. CARBON MONOXIDE ALARMS SHALL RECEIVE BATTERY PRIMARY POWER FROM THE BUILDING WIRING WITH BATTERY BACKUP AND ALL ALARMS WITHIN A DWELLING SHALL BE INTERCONNECTED PER NFPA 720.

24. SLOPE GRADE AWAY FROM BUILDING 6" WITHIN THE FIRST 10' PER IRC R401.3. SLOPE EXTERIOR LANDINGS AND OTHER IMPERVIOUS SURFACES 2% PER IRC R311.3.

25. LAP SIDING: PLANK BUTT JOINTS SHOULD BE TIGHT AND OCCUR ONLY AT STUDS OVER A 6" WIDE PIECE OF FLASHING LAPPED 1" OVER THE PLANK BELOW. FLASHING SHOULD BE OF A DURABLE WATERPROOF MATERIAL SUCH AS WINDOW FLASHING OR POLYURETH WRB.

26. ENSURE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER IS PROVIDED PER IRC R703.7.3. AS UNDERLAYMENT FOR STUCCO. POLYMER-BASED WRBs ARE EQUIVALENT TO GRADE D PAPER.
27. WATER RESISTIVE BARRIER AT WALLS SHALL LAP A MIN. OF 2" HORIZONTALLY AND 6" VERTICALLY PER IRC R703.2. POLYMER-BASED WRBS SHALL LAP 6" MIN. HORIZONTALLY AND VERTICALLY.

28. CONFER WITH AUTHORITY HAVING JURISDICTION TO DETERMINE IF RADON CONTROL METHODS ARE REQUIRED BY LOCAL ORDINANCE FOR NEW RESIDENTIAL CONSTRUCTION. REFER TO IRC APPENDIX F.

29. ON WOOD FLOOR CONSTRUCTION, FILL VOIDS AT THE UNDERSIDE OF TUBS AND SHOWER PANS WITH INSULATION FOR ACOUSTIC DAMPENING.

30. PROVIDE GLASS MAT GYP BD BACKING, FIBER-REINFORCED GYP BD, FIBER-CEMENT BOARD OR FIBER MAT REINFORCED CEMENT BOARD BACKER PANELS AT TUB AND SHOWER AREAS.

31. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE IC-RATED FOR ZERO CLEARANCE INSULATION CONTACT AND SEALED AIR TIGHT.

32. PROVIDE CLASS I VAPOR BARRIER OVER GRADE IN CRAWL SPACE. LAP UP FOUNDATION WALL MINIMUM 6" AND TAPE AND SEAM.



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NORTH MAIN APARTMENTS

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REVISIONS

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TRIUMPH
DEVELOPMENT

SHEET TITLE

SITE PLAN -
PARKING LEVEL

SHEET NO.

A1.00

FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD, U.N.O.

2. ALL GRIDLINES ALIGN WITH FACE OF STUD OR FACE OF STRUCTURE U.N.O. GRIDLINES DO NOT MATCH GRIDLINES FOR FOUNDATION PERMIT DRAWINGS.

3. KEYNOTES ARE SPECIFIC TO EACH DRAWING SHEET.

4. ALL INTERIOR WALL PARTITION TYPES ARE "TYPE A1s" WHICH INCLUDE SOUND BATT INSULATION, U.N.O.

5. ALL CLOSETS TO INCLUDE SHELF & ROD RE-INTERIOR DRAWINGS.

6. FURNITURE IS SHOWN FOR REFERENCE ONLY.

7. REFER TO SHEET A1.70 FOR UNIT PLANS.

8. REFER TO THE A2 SERIES FOR EXTERIOR ELEVATIONS AND FOR DESIGNATIONS OF EXTERIOR MATERIALS.

9. REFER TO THE A4 SERIES FOR ALL BUILDING SECTIONS.

10. REFER TO THE A2 SERIES FOR DOOR AND WINDOW INFORMATION.

11. REFER TO INTERIORS DRAWINGS FOR FINISH INFORMATION AND SCHEDULES.
12. ENSURE A HARDWIRED WITH BATTERY BACKUP SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR IS INSTALLED ON EACH LEVEL IN A CENTRALLY LOCATED COMMON AREA PER IRC R314.6 AND NFPA 720 AND BE INTERCONNECTED PER IRC R314.4. SMOKE ALARMS SHALL BE PLACED NOT LESS THAN 3' FROM A BATHROOM DOOR WHEN THE BATHROOM CONTAINS A TUB OR SHOWER.

13. THE BATHROOM CONTAINS A TUB OR SHOWER.

14. FLOOR LEVELING MAY BE REQUIRED FOR TILE AND WOOD INSTALLATIONS THAT OCCUR AT SLAB ON GRADE CONDITIONS.

15. ALL EXPOSED CONCRETE FOUNDATION WALLS, CRAWLSPACES, AND FLOORS EXPOSED TO THE EXTERIOR ARE REQUIRED TO BE INSULATED PER THE 2015 IECC.

16. USE 5/8" TYPE 'X' GYPSUM BOARD ON ALL GARAGE CEILINGS.

17. ALL CEILINGS TO BE GYPSUM WALL BOARD U.N.O.

18. COORDINATE LOCATIONS FOR ACCESS DOORS WITH ALL FINAL MECHANICAL EQUIPMENT.

19. GUARDRAILS ARE REQUIRED AT ALL LOCATIONS WHERE THERE IS A GRADE CHANGE OF 30" OR MORE.

20. RE: DETAIL XXXXX FOR TYPICAL DRAFT STOPPING/FIRE BLOCKING AT VERTICAL CHASES AT INTERMEDIATE FLOORS AND ROOF/CEILING INTERSECTIONS. RE: XXXXX FOR TYPICAL DRAFT STOPPING/FIRE BLOCKING AT SOFFITS.
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22. ALL GRIDLINES ALIGN WITH FACE OF STUD OR FACE OF STRUCTURE U.N.O. GRIDLINES DO NOT MATCH LUMINAIRES IN WET OR DAMP LOCATIONS TO RATED FOR THESE LOCATIONS PER NEC 410.10.

23. CARBON MONOXIDE ALARMS SHALL RECEIVE BATTERY PRIMARY POWER FROM THE BUILDING WIRING WITH BATTERY BACKUP AND ALL ALARMS WITHIN A DWELLING SHALL BE INTERCONNECTED PER NFPA 720.

24. SLOPE GRADE AWAY FROM BUILDING 6" WITHIN THE FIRST 10' PER IRC R401.3. SLOPE EXTERIOR LANDINGS AND OTHER IMPERVIOUS SURFACES 2% PER IRC R311.3.

25. LAP SIDING: PLANK BUTT JOINTS SHOULD BE TIGHT AND OCCUR ONLY AT STUDS OVER A 6" WIDE PIECE OF FLASHING LAPPED 1" OVER THE PLANK BELOW. FLASHING SHOULD BE OF A DURABLE WATERPROOF MATERIAL SUCH AS WINDOW FLASHING OR POLYURETHAN WRB.

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32. PROVIDE CLASS I VAPOR BARRIER OVER GRADE IN CRAWL SPACE. LAP UP FOUNDATION WALL MINIMUM 6" AND TAPE AND SEAM.

TOWN STAMP

359
DESIGN

3630 OSAGE
STREET
DENVER, CO 80211
720.512.3437

DISCIPLINE STAMP

NORTH MAIN APARTMENTS

MIDDLE CREEK LOT 3

REVISIONS

No.	Description	Date

PROJECT NUMBER

ISSUE DATE15 MARCH 2021

ISSUE

TRIUMPH
DEVELOPMENT

SHEET TITLE

OVERALL FIRST
FLOOR PLAN

SHEET NO.

A1.10



FLOOR PLAN GENERAL NOTES

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NORTH MAIN APARTMENTS

MIDDLE CREEK LOT 3

REVISIONS

No.	Description	Date

PROJECT NUMBER

ISSUE DATE 15 MARCH 2021

ISSUE

TRIUMPH
DEVELOPMENT

SHEET TITLE

OVERALL SECOND
FLOOR PLAN

SHEET NO.

A1.20

FLOOR PLAN GENERAL NOTES

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TOWN STAMP

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DESIGN

3630 OSAGE
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DENVER, CO 80211
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DISCIPLINE STAMP

NORTH MAIN APARTMENTS

MIDDLE CREEK LOT 3

REVISIONS

No.	Description	Date

PROJECT NUMBER

ISSUE DATE 15 MARCH 2021

ISSUE

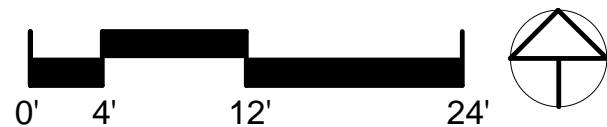
TRIUMPH
DEVELOPMENT

SHEET TITLE

OVERALL THIRD
FLOOR PLAN

SHEET NO.

A1.30



FLOOR PLAN GENERAL NOTES

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DISCIPLINE STAMP

NORTH MAIN APARTMENTS

MIDDLE CREEK LOT 3

REVISIONS

No.	Description	Date

PROJECT NUMBER
ISSUE DATE 15 MARCH 2021

ISSUE
TRIUMPH
DEVELOPMENT
SHEET TITLE
OVERALL FOURTH
FLOOR PLAN
SHEET NO.

A1.40

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REVISIONS

No.	Description	Date

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ISSUE DATE 15 MARCH 2021

ISSUE

TRIUMPH
DEVELOPMENT

SHEET TITLE

OVERALL FIFTH
FLOOR PLAN

SHEET NO.

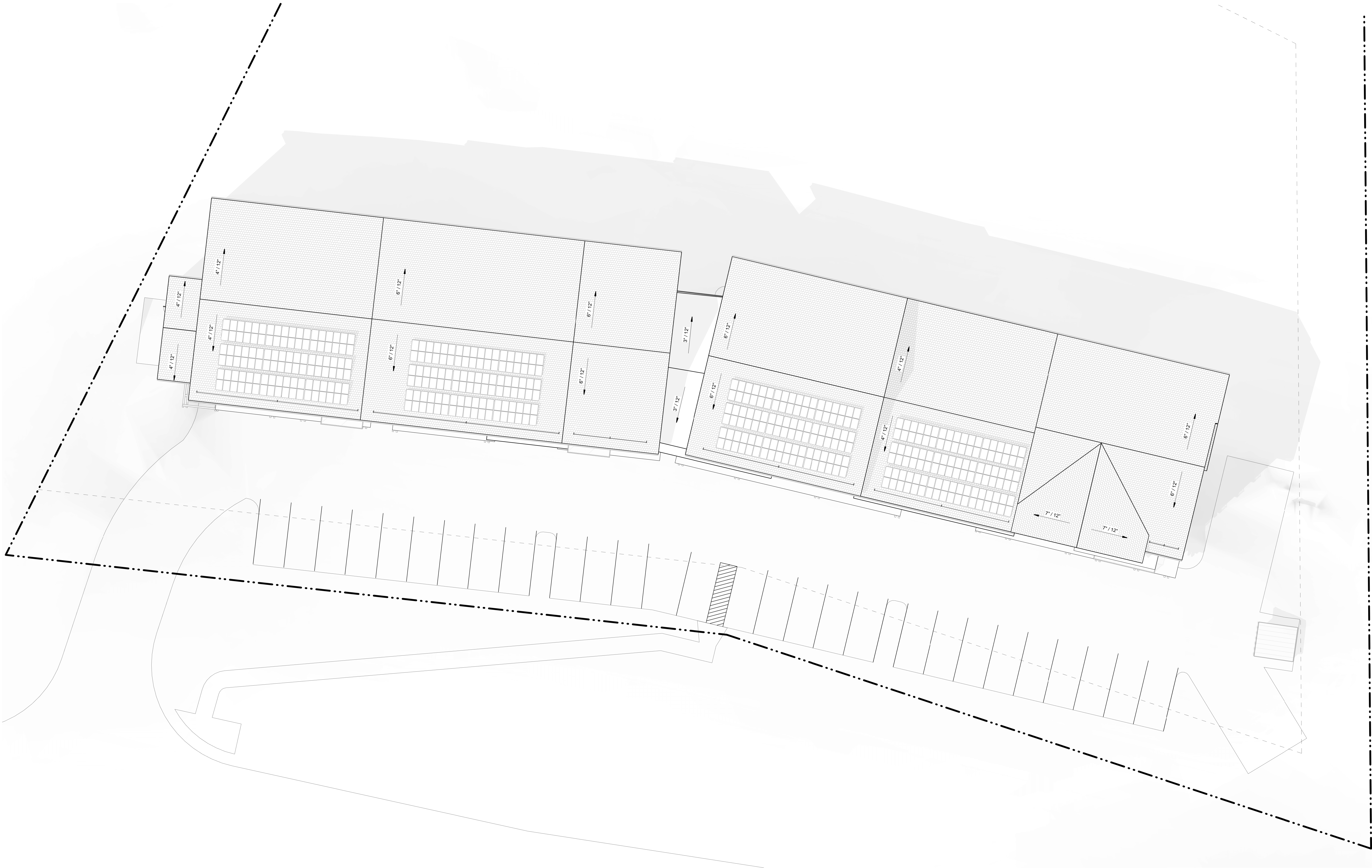
A1.50

ROOF PLAN GENERAL NOTES

1. ROOF TYPES ARE AS FOLLOWS:
A. ROOF TYPE 1: *Asphalt Shingle*
2. ALL ROOFING SURFACES TO SLOPE 1/4" VERTICAL PER 1'-0" HORIZONTAL MINIMUM, U.N.O.
3. HATCHING INDICATES AREAS WHERE THE ROOF SLOPE SURFACE SLOPE IS ACHIEVED WITH TAPERED INSULATION. THE ROOF SURFACE SLOPE IN AREAS WITHOUT HATCHING IS ACHIEVED WITH SLOPING STRUCTURE.
4. TOP OF INSULATION HEIGHTS, HIGH POINTS AND LOW POINTS, ARE INDICATED AS THE TOP OF ROOF SURFACE ABOVE THE ROOF DRAINS. (IE. + 3.5' WHERE HIGH POINT OF ROOF DRAIN SUMP IS 40'
5. REFER TO SHEET AS XX FOR TYPICAL ROOF DETAILS.
6. ALL ROOF TOP MECHANICAL, ELECTRICAL AND/OR PLUMBING EQUIPMENT SHOWN FOR INFORMATION ONLY. REFERENCE MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS AND SPECIFICATIONS FOR SPECIFIC DESIGN INFORMATION.

7. PROVIDE WALKWAY PROTECTION TO MAJOR MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT AS REQUIRED TO PROVIDE SERVICE ACCESS.
8. WALKWAY PROTECTION IS INDICATED AS A GENERAL LAYOUT AND MAY NOT SHOW ALL FINAL LOCATIONS OF ALL EQUIPMENT.
9. EXISTING ROOFS TO REMAIN, U.N.O.
10. REFERENCE DEMOLITION PLANS AND SECTIONS.
11. AREAS ON ROOF PLANS THAT ARE NOT SHADED WITH A HATCH INDICATE THE LIGHTER COLOR ASPHALT SHINGLES PER P20 APPROVAL. BASIS OF DESIGN: CERTAINTED LANDMARK SERIES
12. LIGHT SHINGLES: CERTAINTED LANDMARK COBBLESTONE GRAY
13. DARK SHINGLES: CERTAINTED LANDMARK PEWTER
14. PRE-FINISHED ALUMINUM GUTTERS WITH HEAT TRACE TO BE PROVIDED ON ALL EAVES AS SHOWN. REFER TO ELECTRICAL DRAWINGS FOR POWER LOCATIONS

16. SNOWGUARD BASIS OF DESIGN IS ROCKY MOUNTAIN SNOW GUARDS, INC. RG10 POWDER COATED ALUMINUM CLEAT PAINTED TO MATCH COLOR OF SHINGLES - SEE PLAN FOR LOCATIONS AND COORDINATE WITH MANUFACTURER FOR TYPICAL SPACING
17. ROOF VENTS TO BE INSTALLED MIN. 24" AWAY FROM VALLEYS TO AVOID CONFLICT OF VENT AND VALLEY FLASHINGS
18. PROVIDE GUTTER GUARDS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS PER IWUIC 506.4
19. ALL ROOF PENETRATION FLASHING TO BE PER CERTAINTED MFR. ROOF SHINGLE INSTALLATION GUIDELINES AND DETAILING. THIS INCLUDES BUT IS NOT LIMITED TO ALL PLUMBING VENTS, B VENTS, CONCENTRIC VENTS, MECHANICAL VENTS AND EXHAUST VENTS. ALL COMBUSTIBLE CLEARANCE REQUIREMENTS ARE TO BE FOLLOWED. TERMINATE GAS VENTS PER IMC 802.6 AND PLUMBING VENTS PER IPC 303.1. INCREASE HEIGHT TERMINATION ABOVE HIGHEST ANTICIPATED SNOW LEVEL.



TOWN STAMP

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DISCIPLINE STAMP

NORTH MAIN APARTMENTS

MIDDLE CREEK LOT 3

REVISIONS

No.	Description	Date

PROJECT NUMBER

ISSUE DATE 15 MARCH 2021

ISSUE

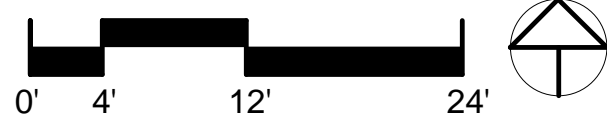
TRIUMPH
DEVELOPMENT

SHEET TITLE

ROOF PLAN

SHEET NO.

A1.60



FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD, U.N.O.

2. ALL GRIDLINES ALIGN WITH FACE OF STUD OR FACE OF STRUCTURE U.N.O. GRIDLINES DO NOT MATCH GRIDLINES FOR FOUNDATION PERMIT DRAWINGS

3. KEYNOTES ARE SPECIFIC TO EACH DRAWING SHEET

4. ALL INTERIOR WALL PARTITION TYPES ARE "TYPE A1s" WHICH INCLUDE SOUND BATT INSULATION, U.N.O.

5. ALL CLOSETS TO INCLUDE SHELF & ROD RE-INTERIOR DRAWINGS

6. FURNITURE IS SHOWN FOR REFERENCE ONLY

7. REFER TO SHEET A1.70 FOR UNIT PLANS

8. REFER TO THE A2 SERIES FOR EXTERIOR ELEVATIONS AND FOR DESIGNATIONS OF EXTERIOR MATERIALS.

9. REFER TO THE A4 SERIES FOR ALL BUILDING SECTIONS

10. REFER TO THE A2 SERIES FOR DOOR AND WINDOW INFORMATION

11. REFER TO INTERIORS DRAWINGS FOR FINISH INFORMATION AND SCHEDULES
12. ENSURE A HARDWIRED WITH BATTERY BACKUP SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR IS INSTALLED ON EACH LEVEL IN A CENTRALLY LOCATED COMMON AREA PER IRC R314.6 AND NFPA 720 AND BE INTERCONNECTED PER IRC R314.4. SMOKE ALARMS SHALL BE PLACED NOT LESS THAN 3' FROM A BATHROOM DOOR WHEN

13. THE BATHROOM CONTAINS A TUB OR SHOWER.

14. FLOOR LEVELING MAY BE REQUIRED FOR TILE AND WOOD INSTALLATIONS THAT OCCUR AT SLAB ON GRADE CONDITIONS

15. ALL EXPOSED CONCRETE FOUNDATION WALLS, CRAWLSPACES, AND FLOORS EXPOSED TO THE EXTERIOR ARE REQUIRED TO BE INSULATED PER THE 2015 IECC

16. USE 5/8" TYPE "X" GYPSUM BOARD ON ALL GARAGE CEILINGS

17. ALL CEILINGS TO BE GYPSUM WALL BOARD U.N.O.

18. COORDINATE LOCATIONS FOR ACCESS DOORS WITH ALL FINAL MECHANICAL EQUIPMENT

19. GUARDRAILS ARE REQUIRED AT ALL LOCATIONS WHERE THERE IS A GRADE CHANGE OF 30" OR MORE

20. RE: DETAIL XXXXX FOR TYPICAL DRAFT STOPPING/FIRE BLOCKING AT VERTICAL CHASES AT INTERMEDIATE FLOORS AND ROOF/CEILING INTERSECTIONS. RE: XXXXX FOR TYPICAL DRAFT STOPPING/FIRE BLOCKING AT SOFFITS.
21. ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD, U.N.O.

22. ALL GRIDLINES ALIGN WITH FACE OF STUD OR FACE OF STRUCTURE U.N.O. GRIDLINES DO NOT MATCH LUMINAIRES IN WET OR DAMP LOCATIONS TO RATED FOR THESE LOCATIONS PER NEC 410.10.

23. CARBON MONOXIDE ALARMS SHALL RECEIVE BATTERY PRIMARY POWER FROM THE BUILDING WIRING WITH BATTERY BACKUP AND ALL ALARMS WITHIN A DWELLING SHALL BE INTERCONNECTED PER NFPA 720.

24. SLOPE GRADE AWAY FROM BUILDING 6" WITHIN THE FIRST 10' PER IRC R401.3. SLOPE EXTERIOR LANDINGS AND OTHER IMPERVIOUS SURFACES 2% PER IRC R311.3.

25. LAP SIDING: PLANK BUTT JOINTS SHOULD BE TIGHT AND OCCUR ONLY AT STUDS OVER A 6" WIDE PIECE OF FLASHING LAPPED 1" OVER THE PLANK BELOW. FLASHING SHOULD BE OF A DURABLE WATERPROOF MATERIAL SUCH AS WINDOW FLASHING OR POLYOLEFIN WRB.

26. ENSURE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER IS PROVIDED PER IRC R703.7.3. AS UNDERLAYMENT FOR STUCCO, POLYMER-BASED WRB'S ARE EQUIVALENT TO GRADE D PAPER.
27. WATER RESISTIVE BARRIER AT WALLS SHALL LAP A MIN. OF 2" HORIZONTALLY AND 6" VERTICALLY PER IRC R703.2. POLYMER-BASED WRB'S SHALL LAP 6" MIN. HORIZONTALLY AND VERTICALLY.

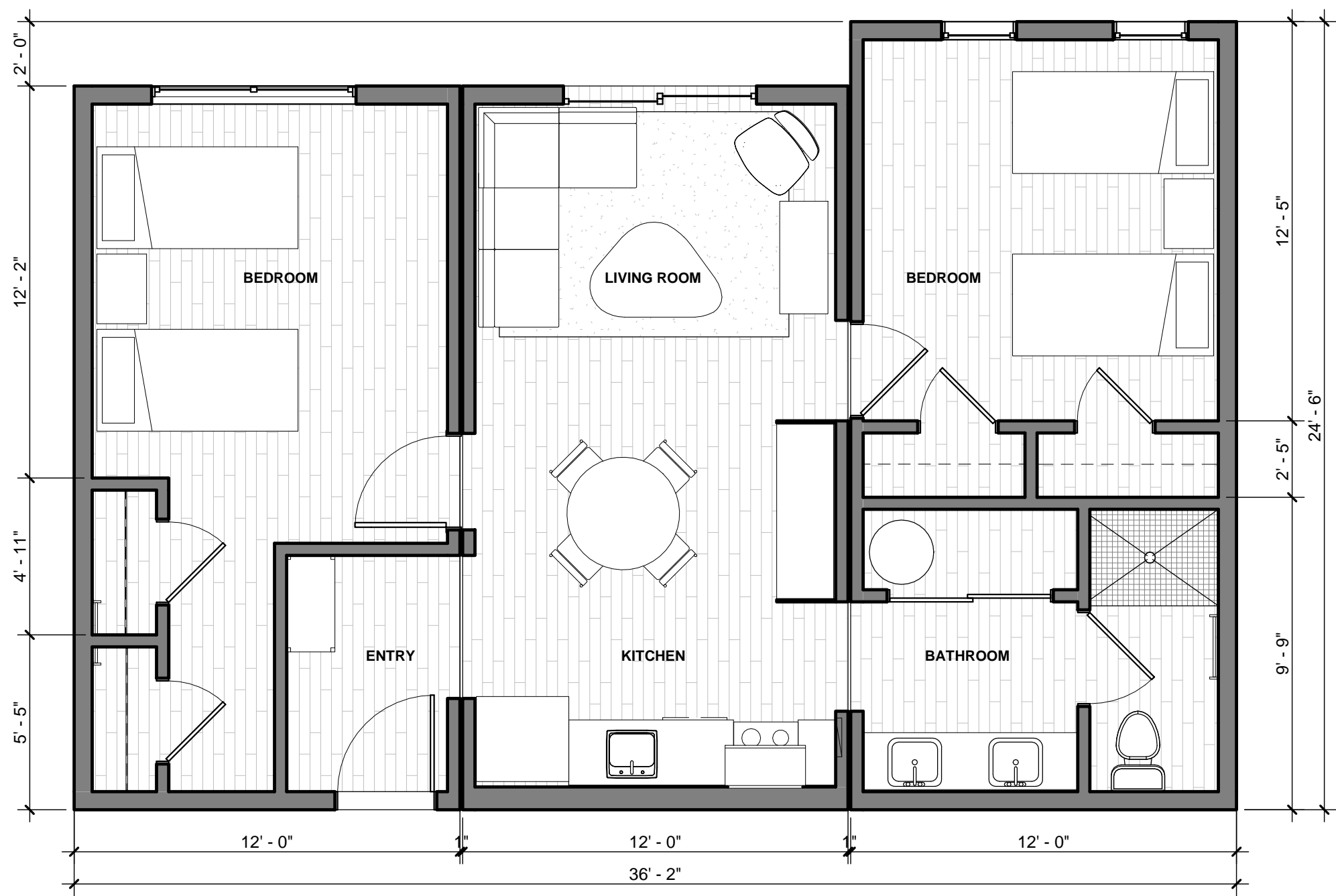
28. CONFER WITH AUTHORITY HAVING JURISDICTION TO DETERMINE IF RADON CONTROL METHODS ARE REQUIRED BY LOCAL ORDINANCE FOR NEW RESIDENTIAL CONSTRUCTION. REFER TO IRC APPENDIX F.

29. ON WOOD FLOOR CONSTRUCTION, FILL VOIDS AT THE UNDERSIDE OF TUBS AND SHOWER PANS WITH INSULATION FOR ACOUSTIC DAMPENING.

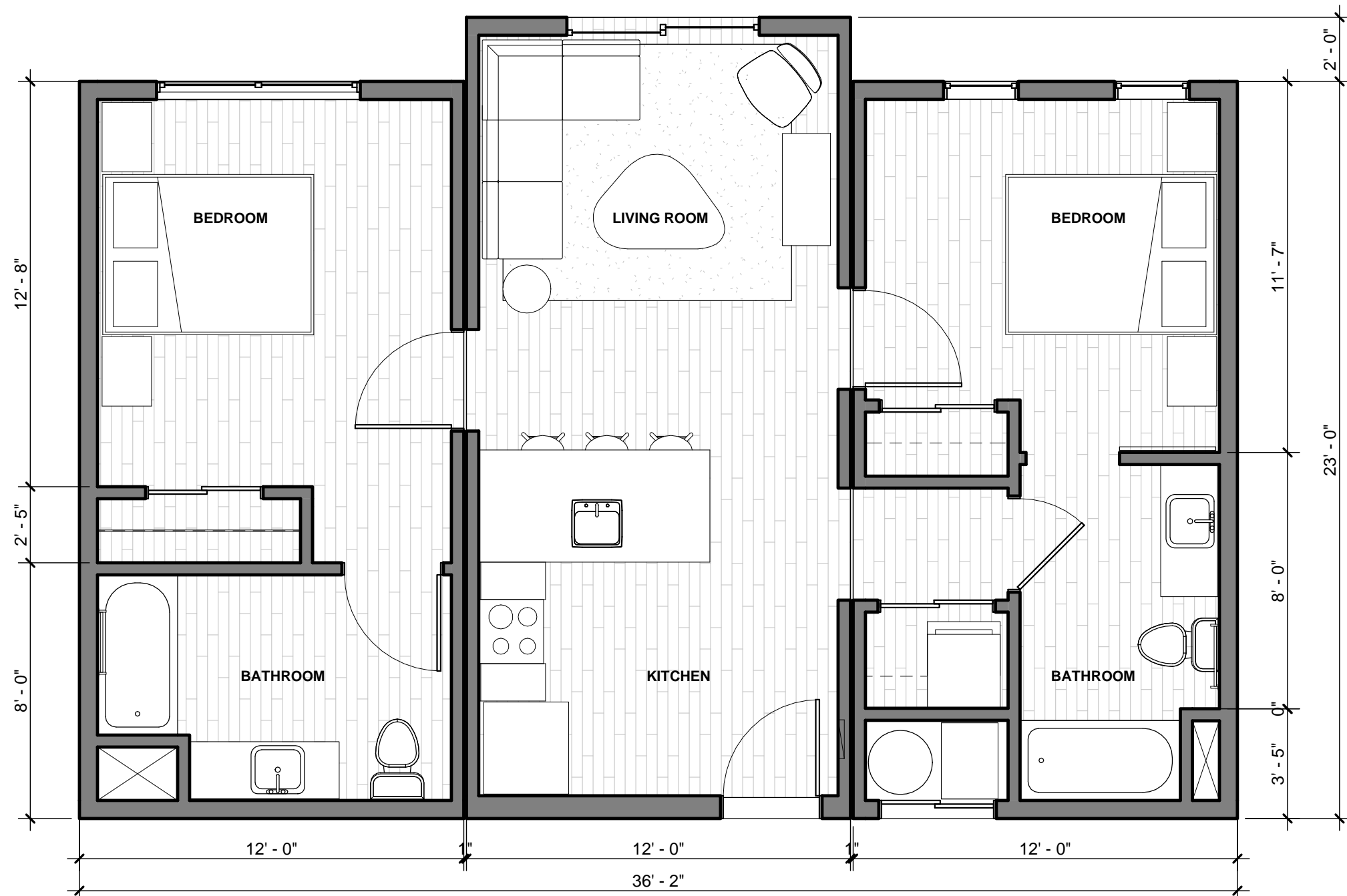
30. PROVIDE GLASS MAT GYP BD BACKING, FIBER-REINFORCED GYP BD, FIBER-CEMENT BOARD OR FIBER MAT REINFORCED CEMENT BOARD BACKER PANELS AT TUB AND SHOWER AREAS.

31. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE IC-RATED FOR ZERO CLEARANCE INSULATION CONTACT AND SEALED AIR TIGHT.

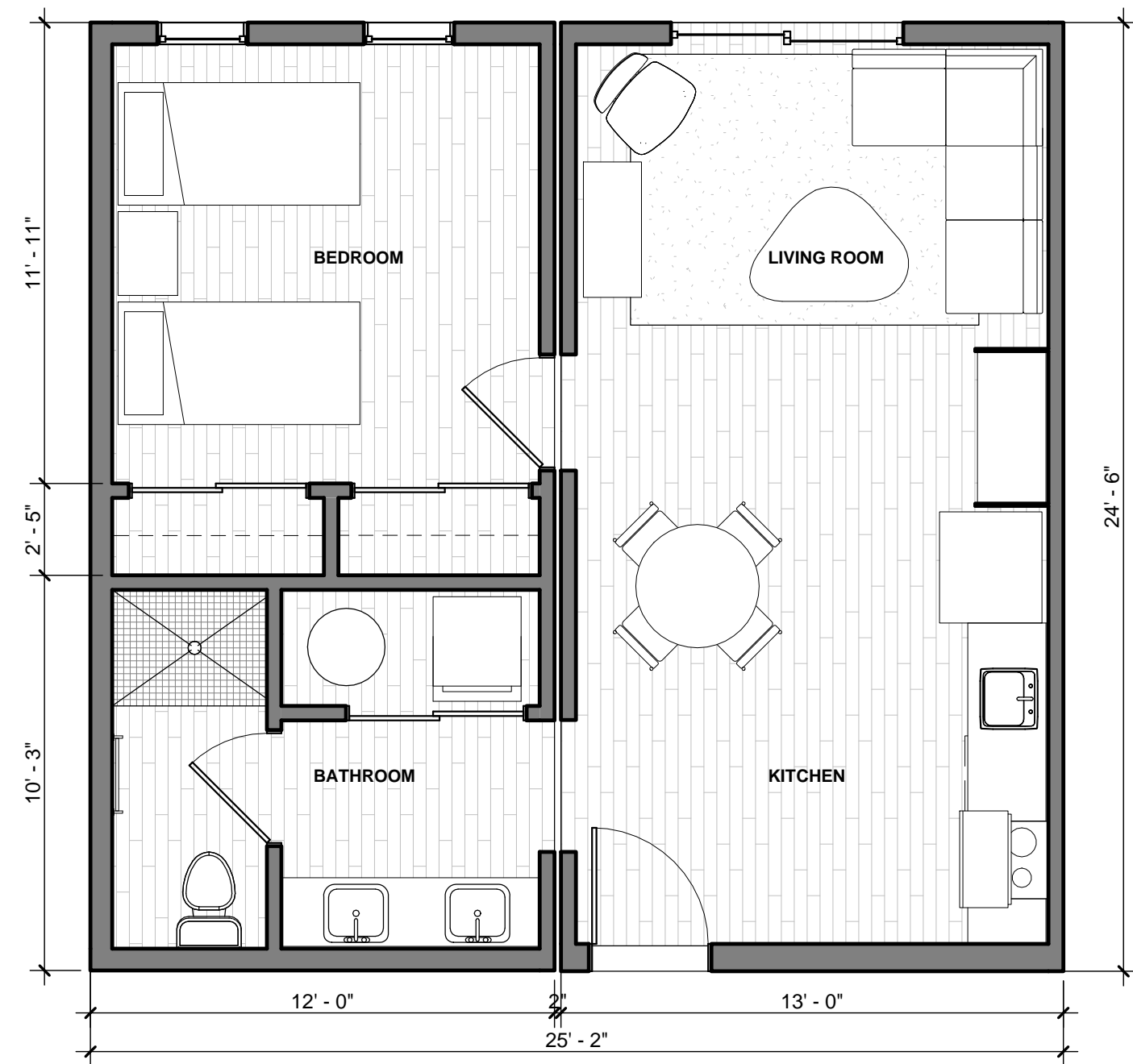
32. PROVIDE CLASS I VAPOR BARRIER OVER GRADE IN CRAWL SPACE. LAP UP FOUNDATION WALL MINIMUM 6" AND TAPE AND SEAM.



3 UNIT PLAN - 2BED/2BATH
1/4" = 1'-0"



2 UNIT PLAN - 2BED/1BATH
1/4" = 1'-0"



1 UNIT PLAN - 1BED/1BATH
1/4" = 1'-0"

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SHEET TITLE

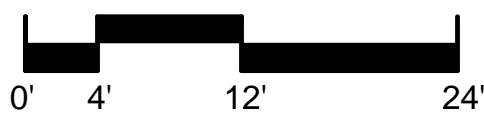
UNIT PLANS

SHEET NO.

A1.70



1 SOUTH ELEVATION
3/32" = 1'-0"



PRECEDENT & REFERENCE



NORTH DAY LOT



TARNES AVON



TARNES AVON

01

CEMENTITIOUS SIDING:
Northwest Factory Finish - "Walnut"

02

CEMENTITIOUS SIDING:
Northwest Factory Finish - "Yellowstone"

03

STUCCO:
SW 7017 - "Orrian Gray"

04

STUCCO:
SW 7029 - "Agreeable Gray"

05

ASPHALT SHINGLE:
Timberline - "Appalachian Sky"

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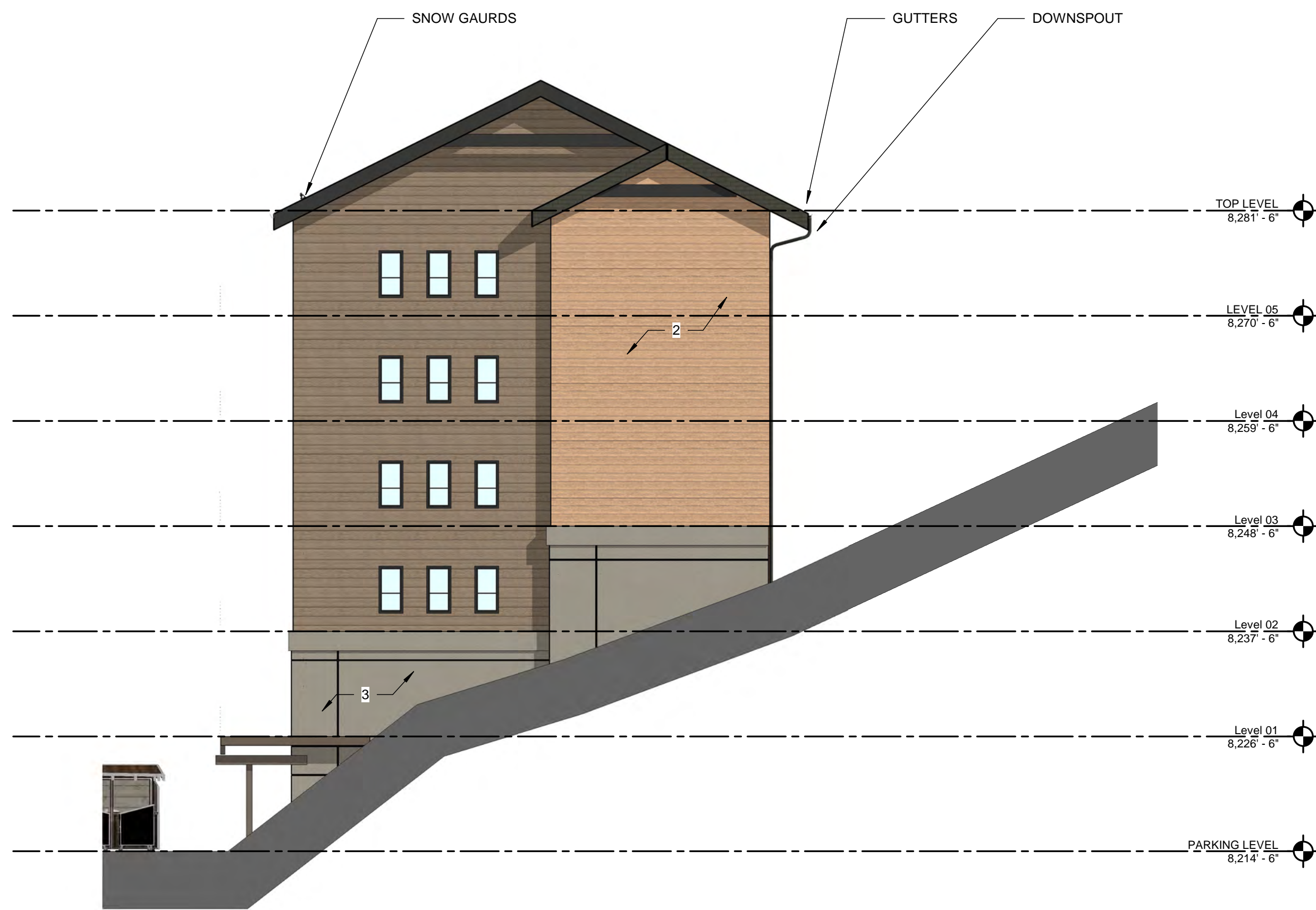
SHEET TITLE
ELEVATIONS

SHEET NO.

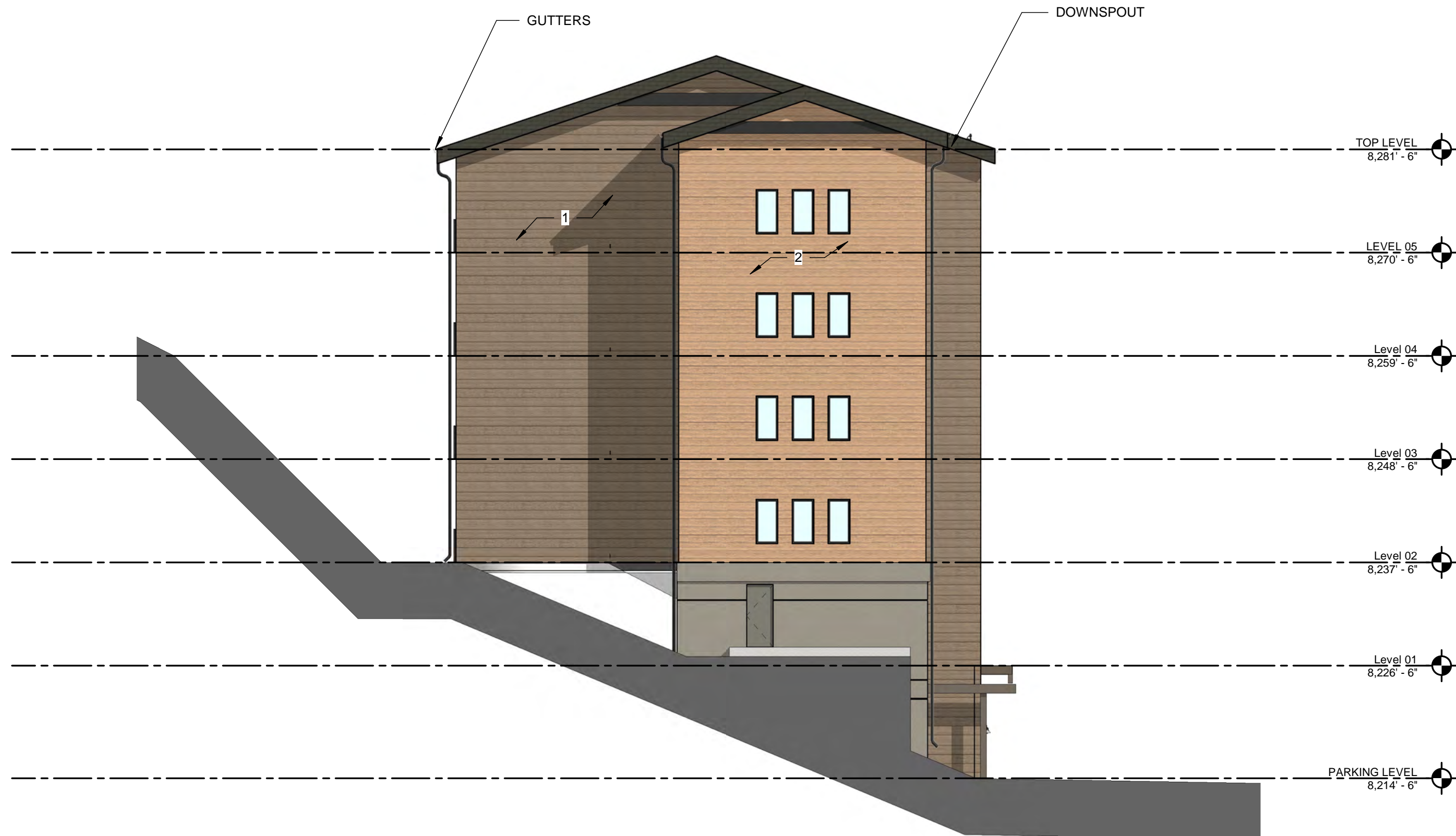
A2.10



3 NORTH ELEVATION
3/32" = 1'-0"



1 EAST ELEVATION
3/32" = 1'-0"



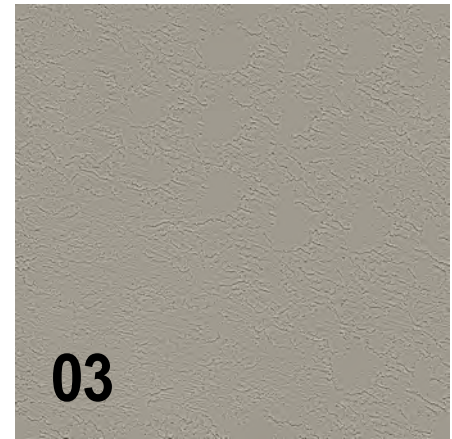
2 WEST ELEVATION
3/32" = 1'-0"



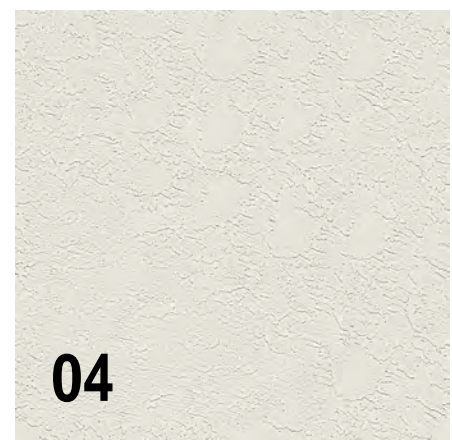
01
CEMENTITIOUS SIDING:
Northwest Factory Finish - "Walnut"



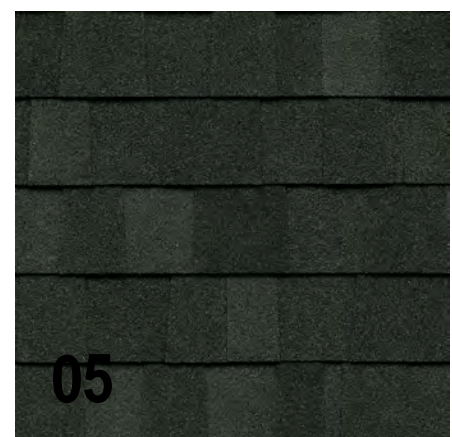
02
CEMENTITIOUS SIDING:
Northwest Factory Finish - "Yellowstone"



03
STUCCO:
SW 7017 - "Orrian Gray"



04
STUCCO:
SW 7029 - "Agreeable Gray"



05
ASPHALT SHINGLE:
Timberline - "Appalachian Sky"

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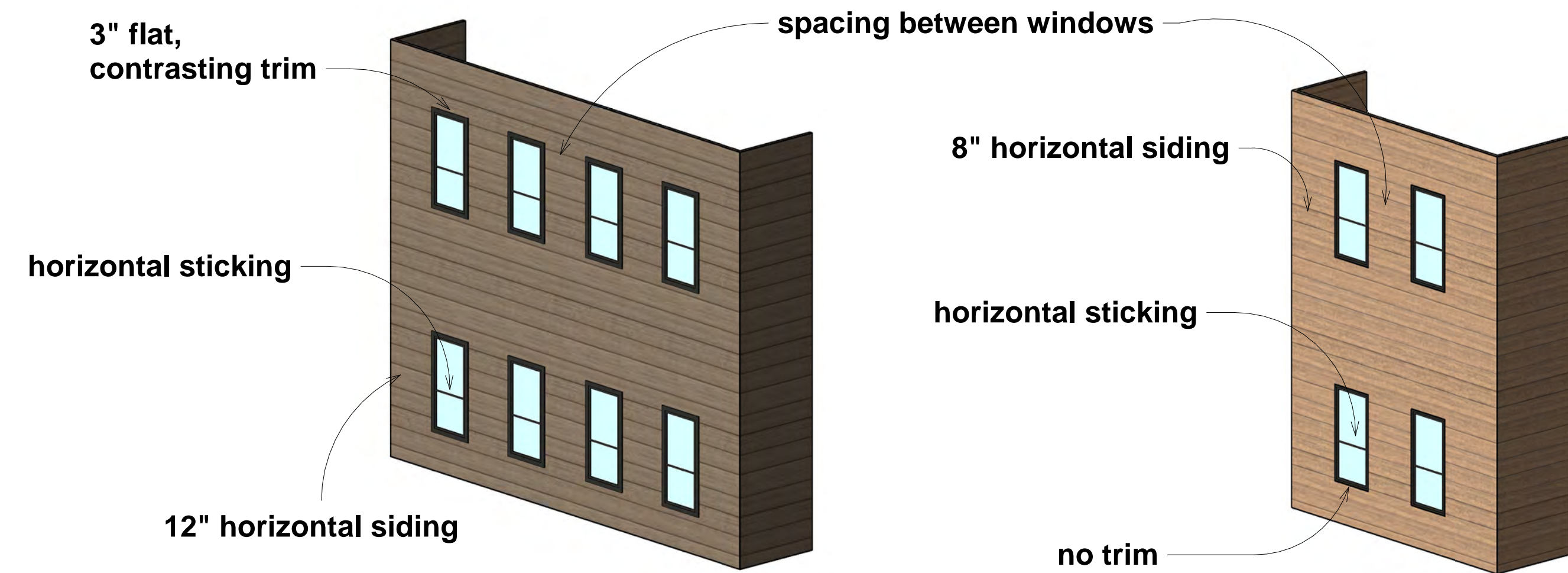
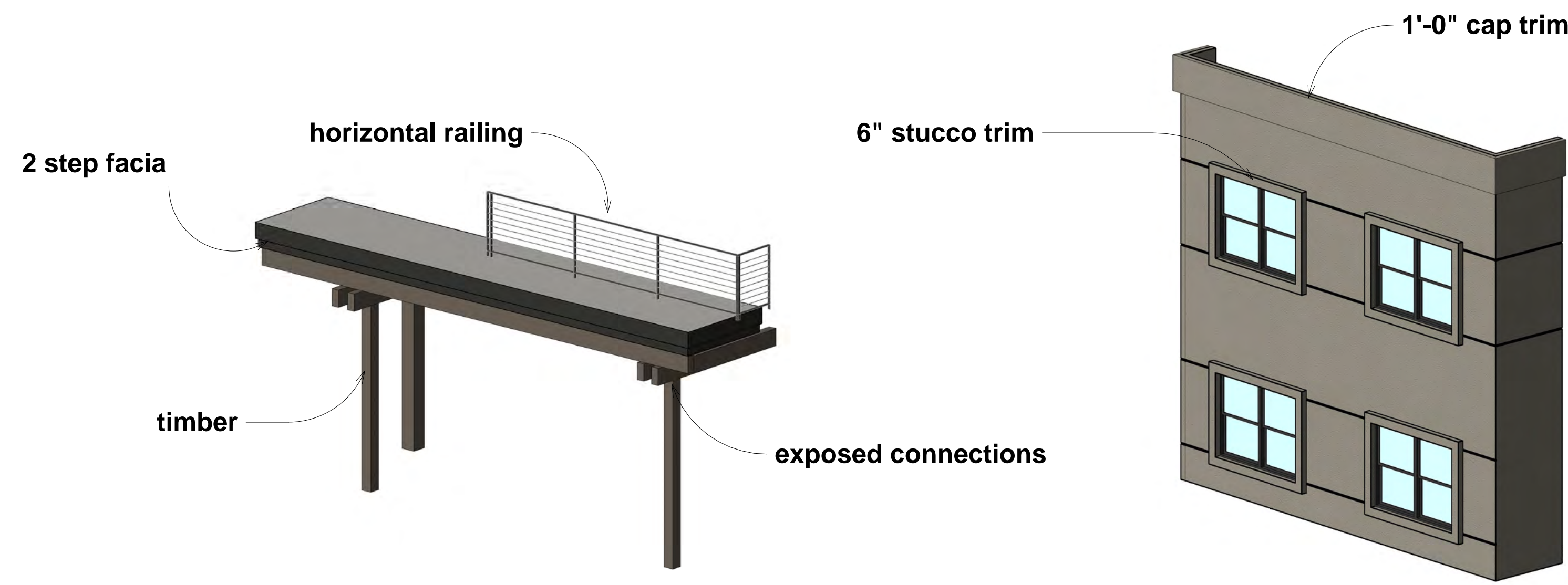
No.	Description	Date

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TRIUMPH DEVELOPMENT

SHEET TITLE
ELEVATIONS

SHEET NO.
A2.20



DETAILS

- MATERIAL: timber
- COLOR: painted to match primary mass; walnut
- CORNICE/TRIM: 2 step fascia; painted (SW 6006)
- DETAILS: exposed connection bolts, railings, gutters & downspouts painted to match (SW 6006)

BASE

- MATERIAL: stucco
- COLOR: SW 1707
- CORNICE/TRIM: 1'-0" x 0'-4" cornice
6" window trim
- DETAILS: 1/4" reveals

PRIMARY MASS

- MATERIAL: LP Smartside
- COLOR: Northwest Factory Finish Walnut
- CORNICE/TRIM: 3" window trim; painted (SW 6006)
- DETAILS: 6" trim at corners; painted to match walnut

ACCENT

- MATERIAL: LP Smartside
- COLOR: Northwest Factory Finish Yellowstone
- CORNICE/TRIM: no trim
- DETAILS: -

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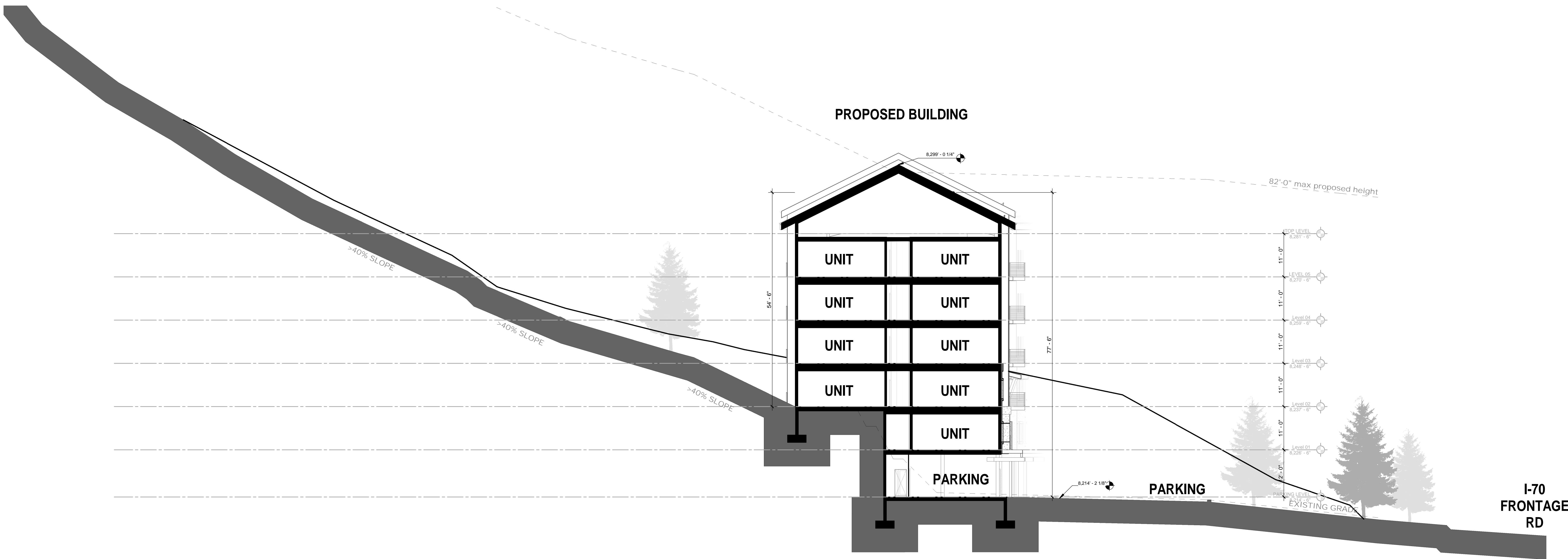
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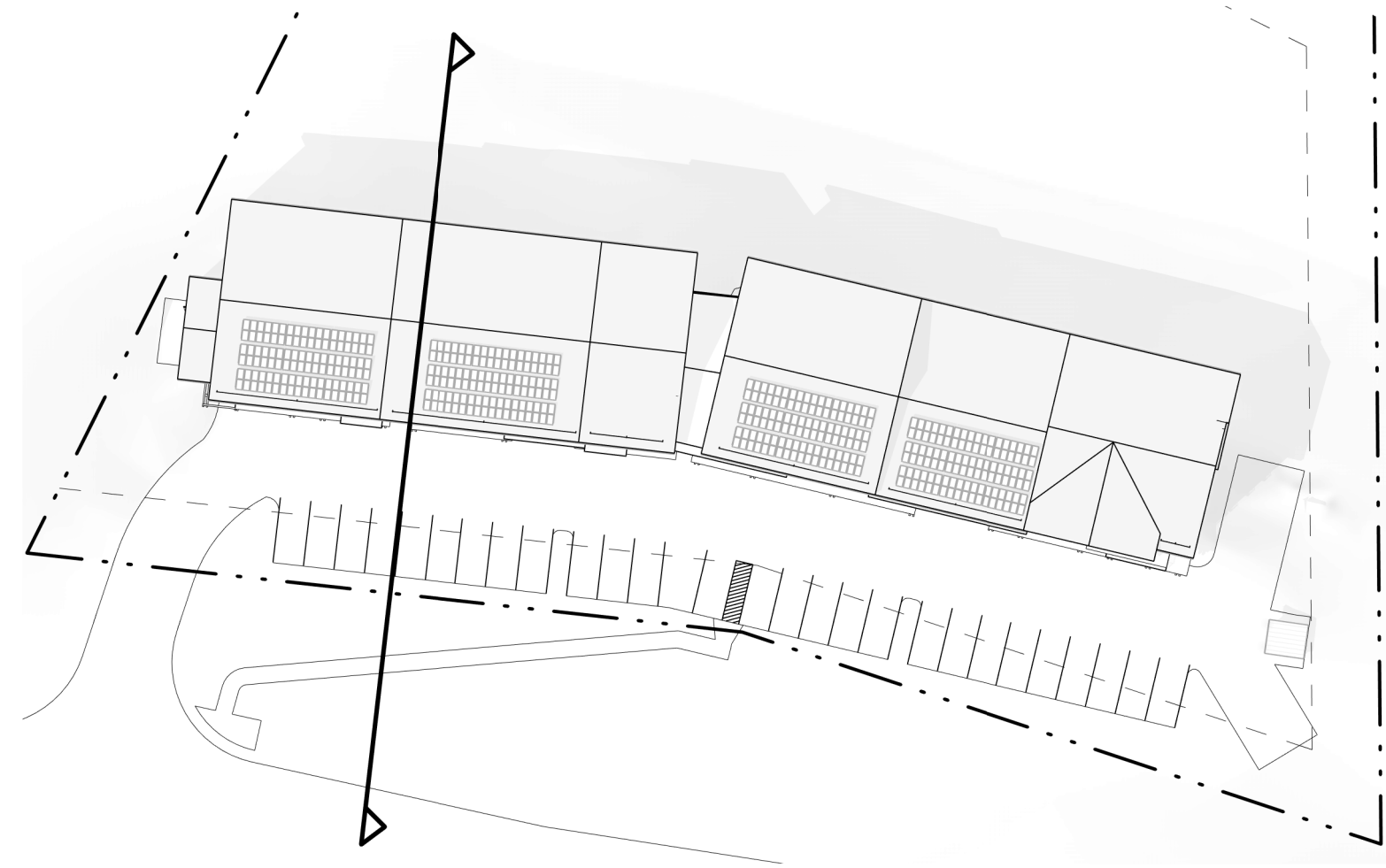
ISSUE
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DEVELOPMENT
SHEET TITLE
DESIGN DETAILS
SHEET NO.

A2.30



1 Section 2
3/32" = 1'-0"

0' 4' 12' 24'



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MIDDLE CREEK LOT 3

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BUILDING SECTION

SHEET NO.

A3.10



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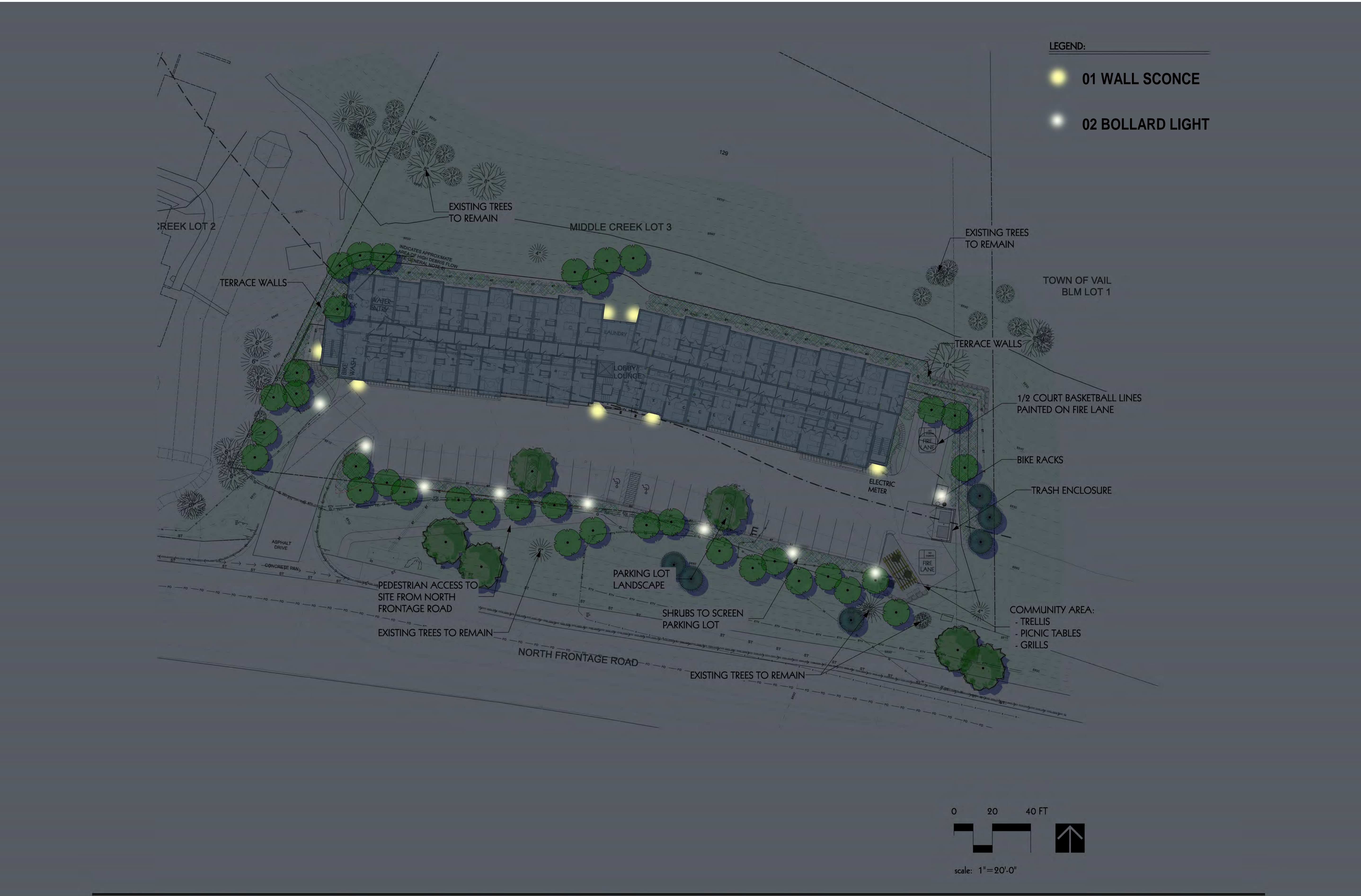
TRIUMPH DEVELOPMENT

SHEET TITLE

SUN SHADE ANALYSIS

SHEET NO.

A5.10



*all proposed lighting meets Dark Sky requirements

01 WALL SCONCE
(7 total)
Mounted at 8'-0"

DL DestinationLighting.
Customer Service: 1-800-653-4556 or cs@destinationlighting.com
M-F: 7am-5pm & Sunday: 11am-4pm (PST)

Design Classics Powder Coated Bronze Cylinder Outdoor Wall Light



Product Number: 759878
Manufacturer: Design Classics Lighting
Model Number: 1991-PCBZ
Manufacturer Finish: Powder Coated Bronze
Manufacturer Shade Color: Powder Coated Bronze
Voltage Type: Line Voltage
Height: 7.5 in.
Width: 5.8 in.
Depth: 7.75 in.
Wattage: 75.0
Bulb Type: Incandescent
Bulb Shape: A19
Base Type: Medium
Number Of Bulbs: 0
Bulb Included: No
Bulb Color: Frosted
Bulb Dimmable: Yes
Dark Sky: Yes
ADA Compliant: No
EnergyStar Compliant: No

Shade Material: Metal
Material: Aluminum
Shipping: UPS Regulat
Certification Agencies: ETL, CETL
Backplate Dimension: 4.5 x 4.5
Wet Location: Yes
Damp Location: Yes
Harsh Environ/Coastal: No
Made In America: No
Dark To Dawn: No
Motion Sensor: No
Title 24: No

02 BOLLARD LIGHT
(9 total)
2'-0" height

UFOR-10001
Forrey 1 Bollard No Lens



Construction
Aluminum
Less than 0.1% copper content - Marine Grade 6061-T6 Aluminum
Pressure die casting provides excellent mechanical strength, clean finished product lines and excellent heat dissipation.
Pin point
A sand-degrease and phosphate process that provides outstanding protection as well as a zinc and nickel phosphate process before powder painting.
Memory Retentive - Silicon Gasket
Provided with special injection molded "N" for gasketing for high temperature memory retention. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal stress critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.
Thermal management
Ligman Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal stress critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.
Surge Suppression
Standard 500mA surge suppressor provided with all fixtures.
BAL Rating
02 - 01 - 01
Finishing
All Ligman products go through an extensive finishing process that includes finishing to impart anti-rust performance.
Paint
UV Stabilized 4-MBT thick powder coat paint and baked at 200 Deg C.
This process ensures that Ligman products can withstand harsh environments. Rated for use in saltwater.
Hardware
Finished hardware is Marine grade 316 Stainless steel.
Anti-Seize Screw Holes
Screw holes are infused with a special anti-seize compound designed to prevent seizure of threaded connections. Due to electrolysis from heat, corrosion dampers and moisture.
Optics & LED
Precision optics design provides exceptional light control and precise distribution of light. LED 150-160
Lumen - Maintenance Life
LM-8132 50,000 hours (1% means that at least 99% of the LED will achieve 80% of their original flux)

High efficiency meets the classic for factor.
Complete range of decorative lighting solutions, offering multiple beam distributions and superior efficacies.
A decorative range of bollard luminaires, designed to complement the Forrey pendant, post top and wall mount with options of having no lens or a high impact UV stabilized opal lens. This decorative luminaire provides a symmetrical light distribution using high output COB LED.
Color temperature 2700K, 3000K, 3500K and 4000K.
LED CRI 80 and life time 50,000 hours. High pressure die cast marine grade LM6 aluminum body that is pre-treated with a nickel and zinc phosphate and then powder coated with a 4-5mil thick paint finish ensuring high corrosion resistance. Marine grade 316 stainless steel fasteners.
Dark Sky Approved for 2700K & 3000K.
For Opal Lens, see UFOR-10021
Additional Options (Consult Factory For Pricing)

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SHEET TITLE

LIGHTING PLAN

SHEET NO.

A5.20

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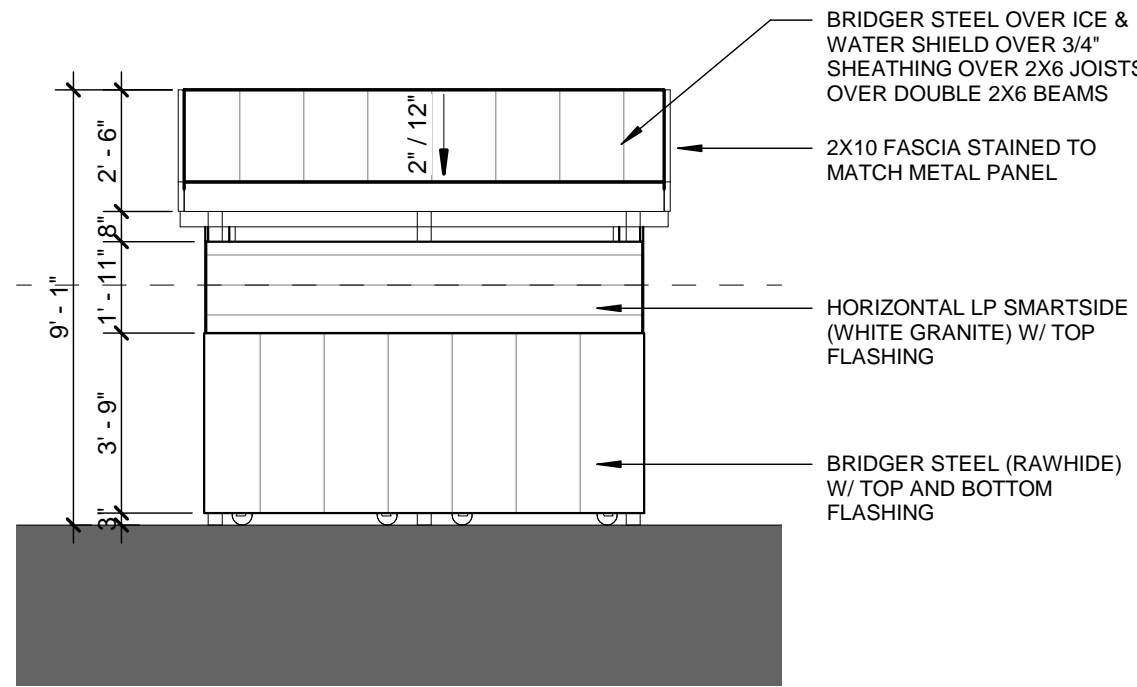
ISSUE

TRIUMPH
DEVELOPMENT

SHEET TITLE
TRASH ENCLOSURE

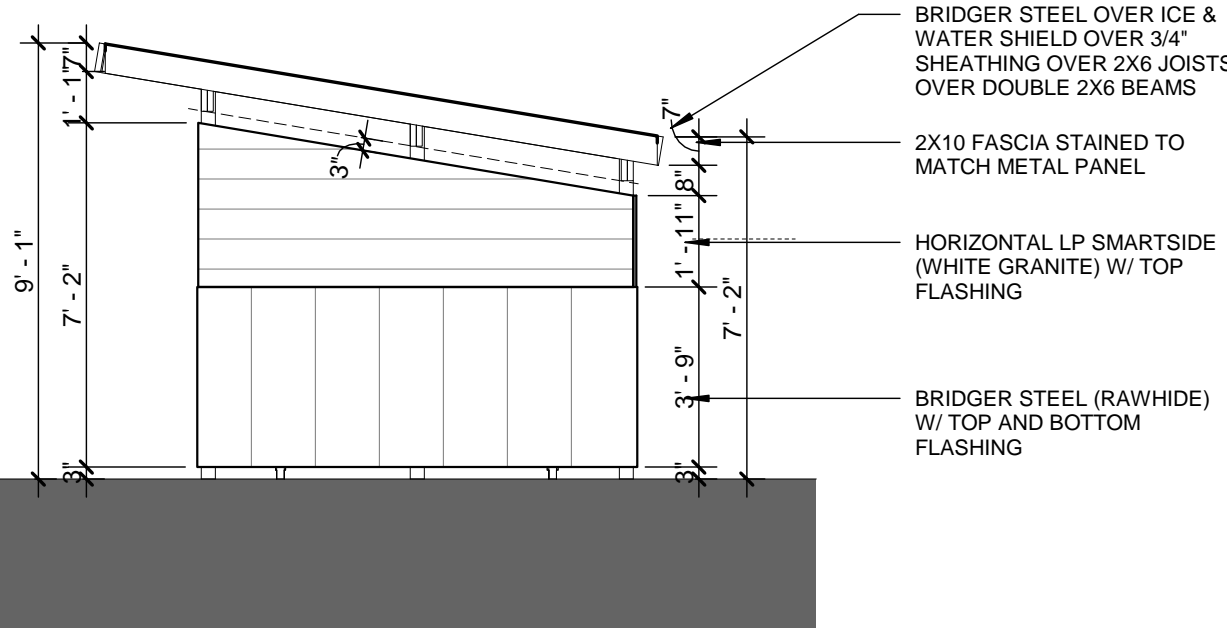
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A5.30



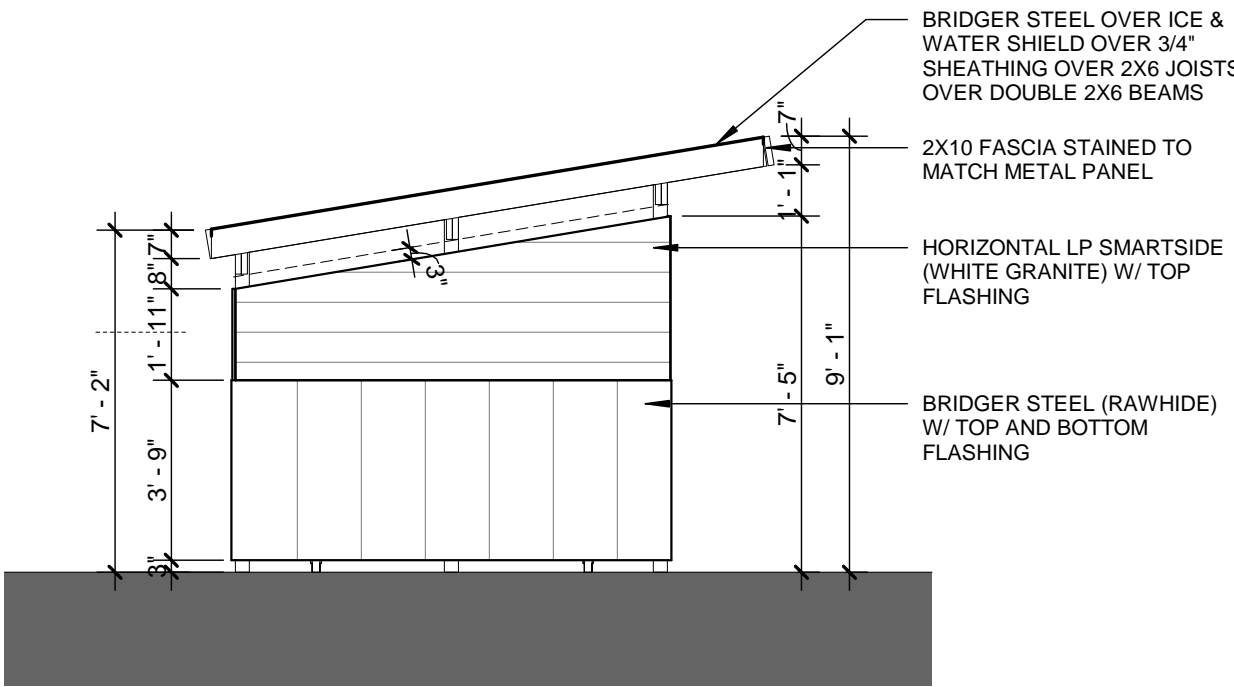
4 TRASH ENCLOSURE EAST ELEVATION

1/4" = 1'-0"



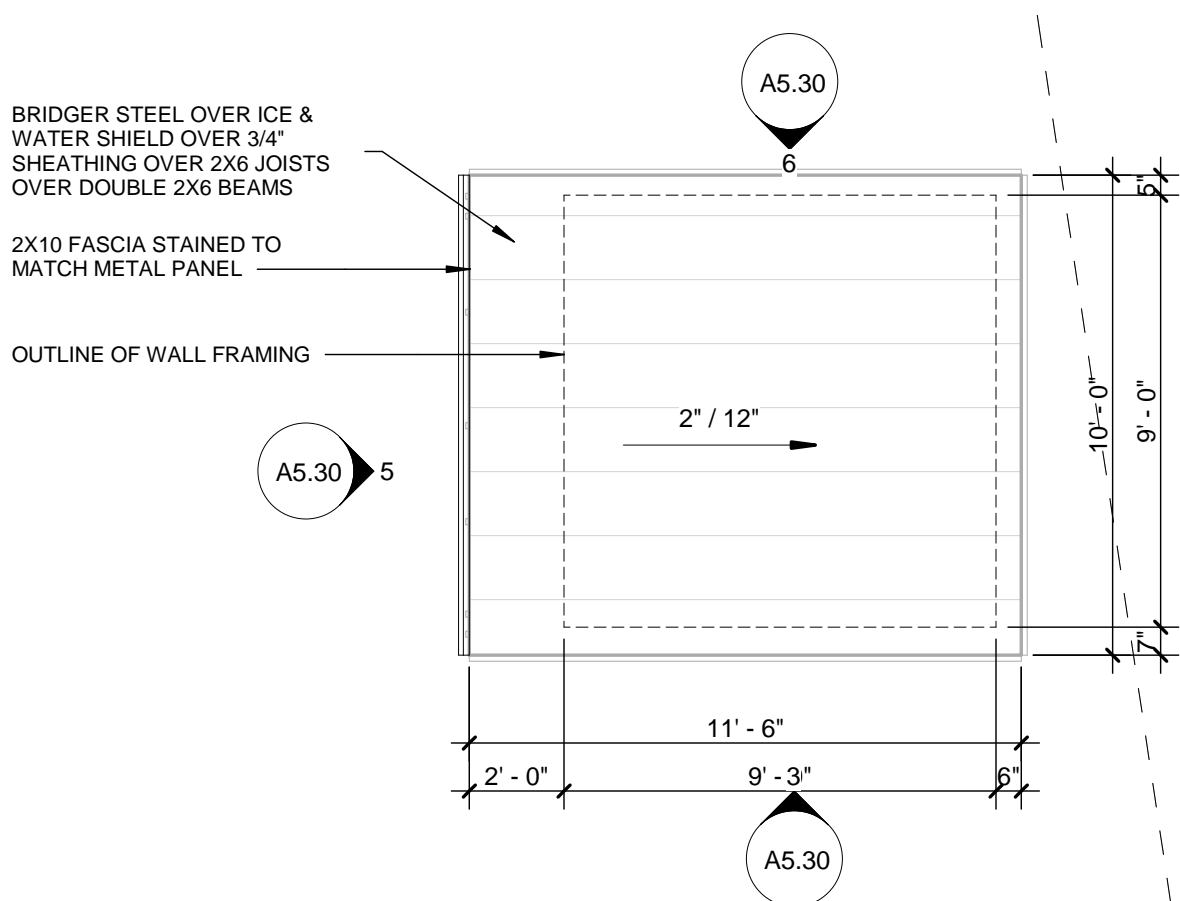
3 TRASH ENCLOSURE SOUTH ELEVATION

1/4" = 1'-0"



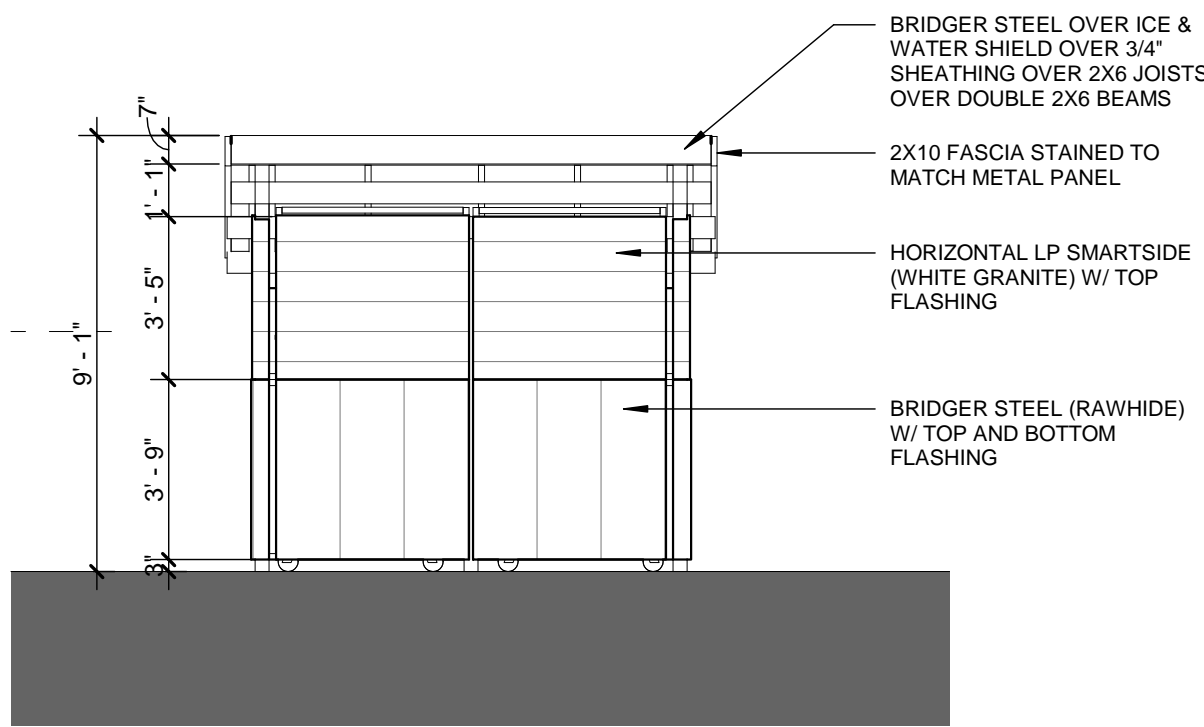
6 TRASH ENCLOSURE NORTH ELEVATION

1/4" = 1'-0"



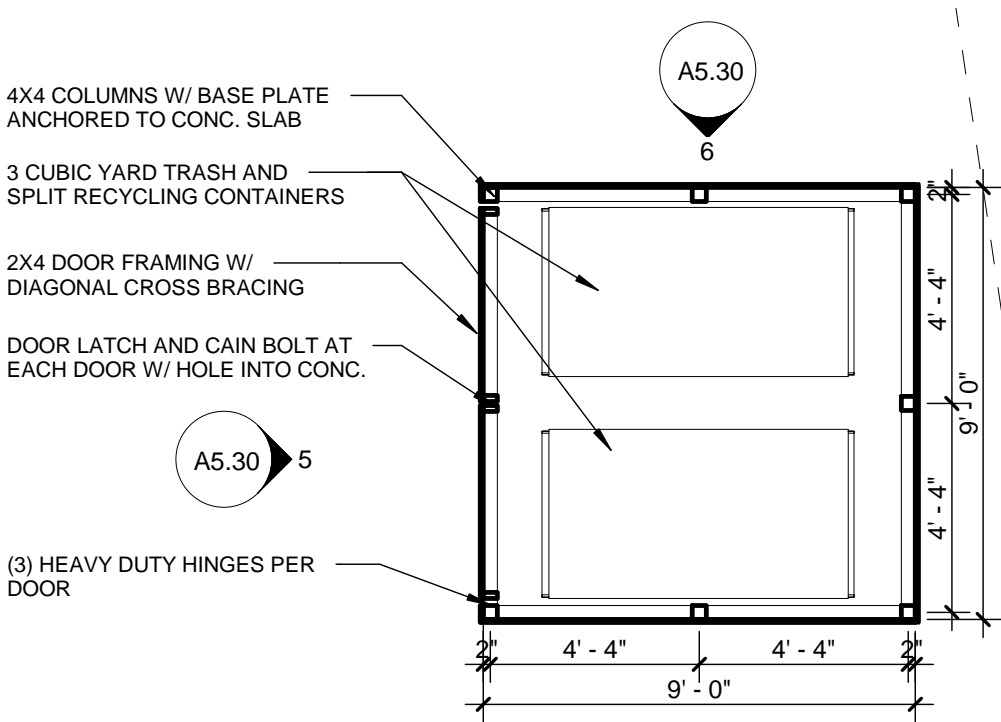
2 TRASH ENCLOSURE ROOF PLAN

1/4" = 1'-0"



5 TRASH ENCLOSURE WEST ELEVATION

1/4" = 1'-0"



1 TRASH ENCLOSURE PLAN

1/4" = 1'-0"



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SHEET TITLE

PERSPECTIVES

SHEET NO.

A6.0